

STREET TREES



Brachychiton populneus x acerifolius 'Bella Donna'



Quercus rubra



Brachychiton populneus x acerifolius 'Jerilderie Red'



Tristaniopsis laurina 'Luscious'



Corymbia citriodora 'Scentuous'



Ulmus parvifolia 'Inspire'



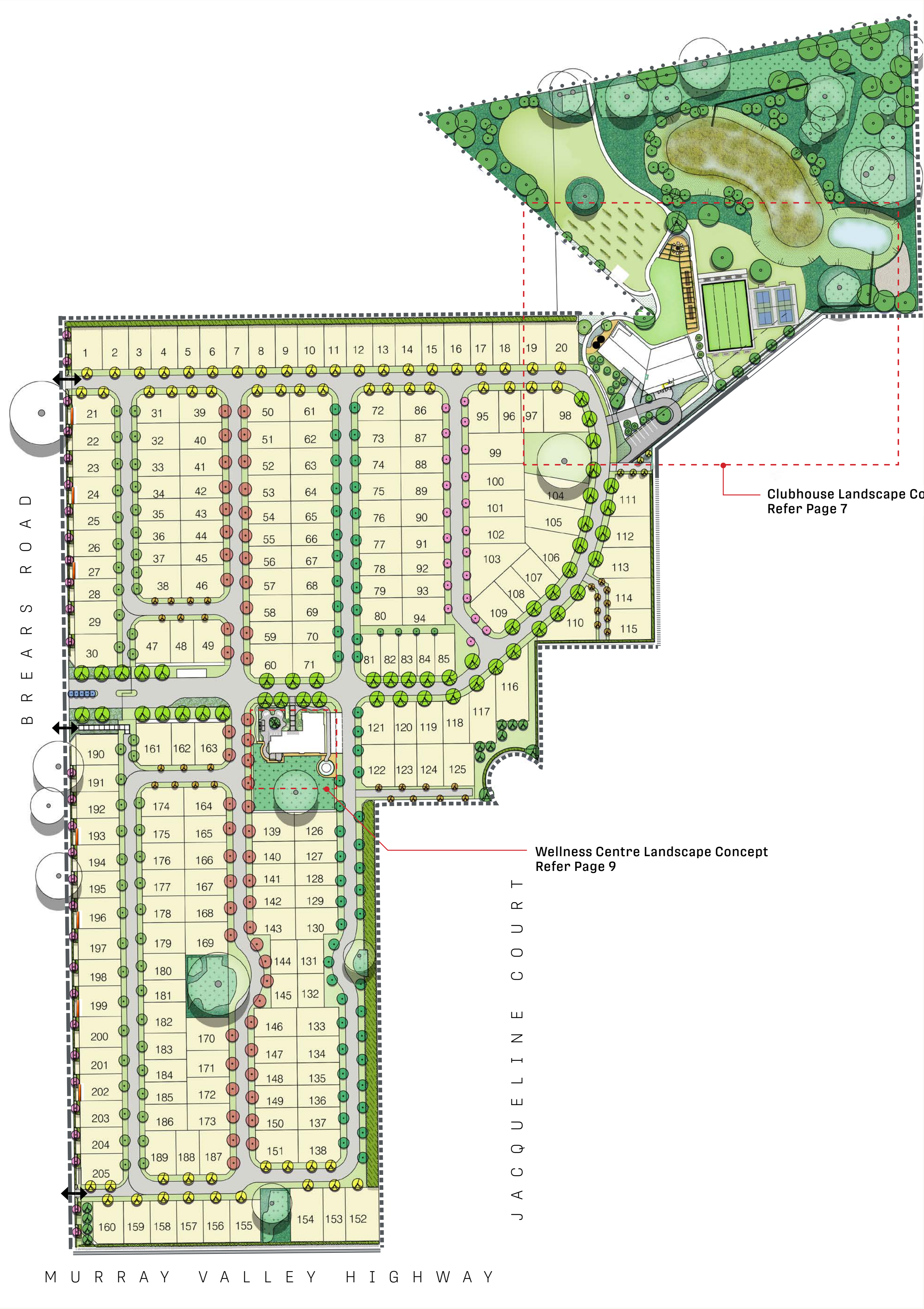
Gleditsia triacanthos 'Continental'



Hymenosporum flavum

Landscape Master Plan

We acknowledge and respect Traditional Owners as the traditional custodians of our shared lands, waters and seas. We recognise their unique ability to care for Country and their deep spiritual connection with Country. We honour Elders past, present and emerging, whose knowledge and wisdom will ensure the continuation of culture, and the values which uphold them.



LEGEND

EXISTING

Existing tree to be retained

Conservation reserves of native vegetation - groundcovers to be retained

PROPOSED

Quercus rubra
Deciduous street tree

Gleditsia triacanthos 'Continental'
Deciduous street tree

Ulmus parvifolia
Deciduous street tree

Corymbia citriodora 'Scentuous'
Evergreen street tree

Hymenosporum flavum
Evergreen street tree

Brachychiton populneus x acerifolius 'Jerilderie Red'
Evergreen street tree

Tristaniopsis laurina 'Luscious'
Evergreen street tree

Brachychiton populneus x acerifolius 'Bella Donna'
Evergreen street tree

Tree in communal spaces

House sites

Grass

Road

Buffer planting (refer suggested plant list)

Ecological restoration (refer suggested plant list)

Wetland planting

Ephemeral planting

Gravel

2.1m high bushfire wall to site (finish to match colorbond fence)

2.1m high bushfire wall to clubhouse (finish to complement architecture)

1.8m high feature wall to clubhouse (finish to complement architecture) and match clubhouse bushfire wall

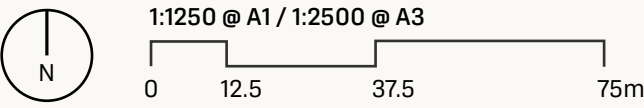
1.8m high rural fence

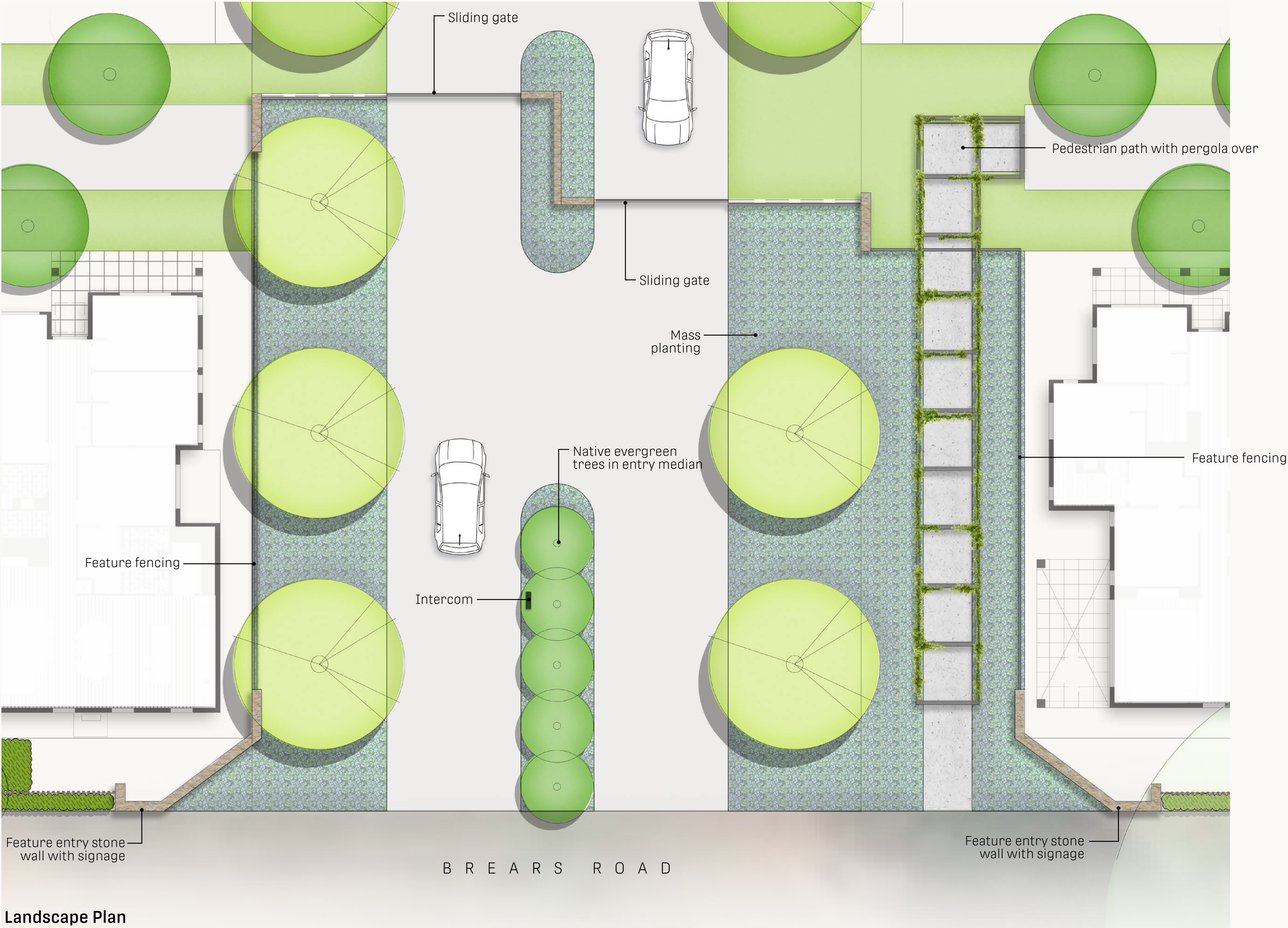
1.8 - 2.1m high colorbond fence

1.8m high palisade fence (Murray Valley Highway)

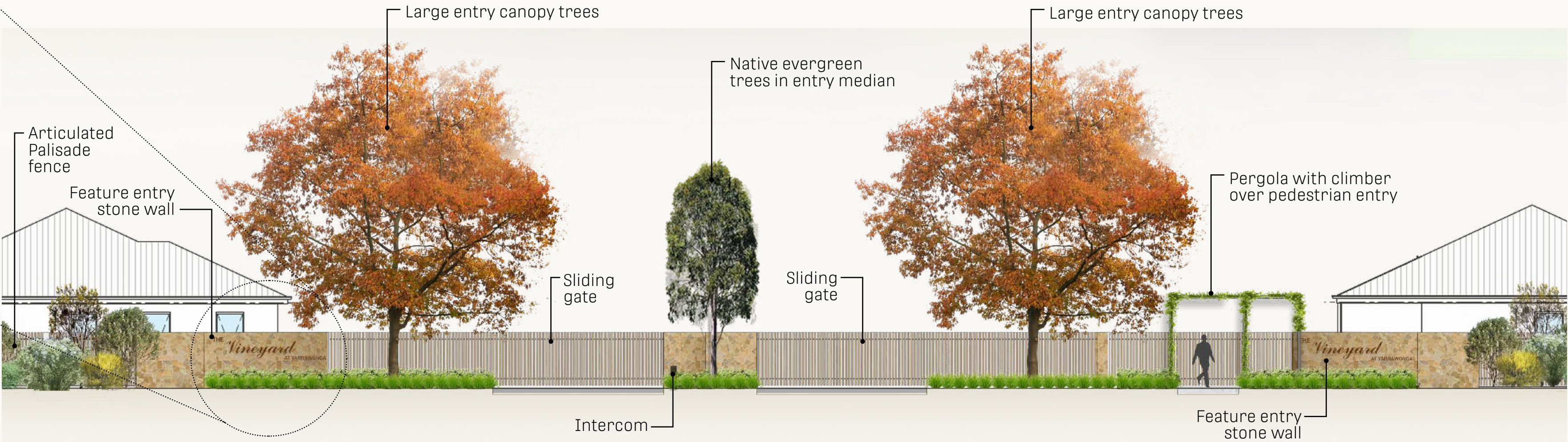
1.8m high articulated palisade fence with 1.8m high stone feature wall at approximately 28m spacing (Brears Road)

Pedestrian links

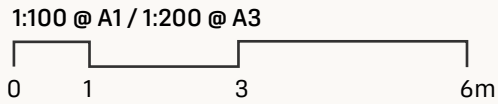




Landscape Plan

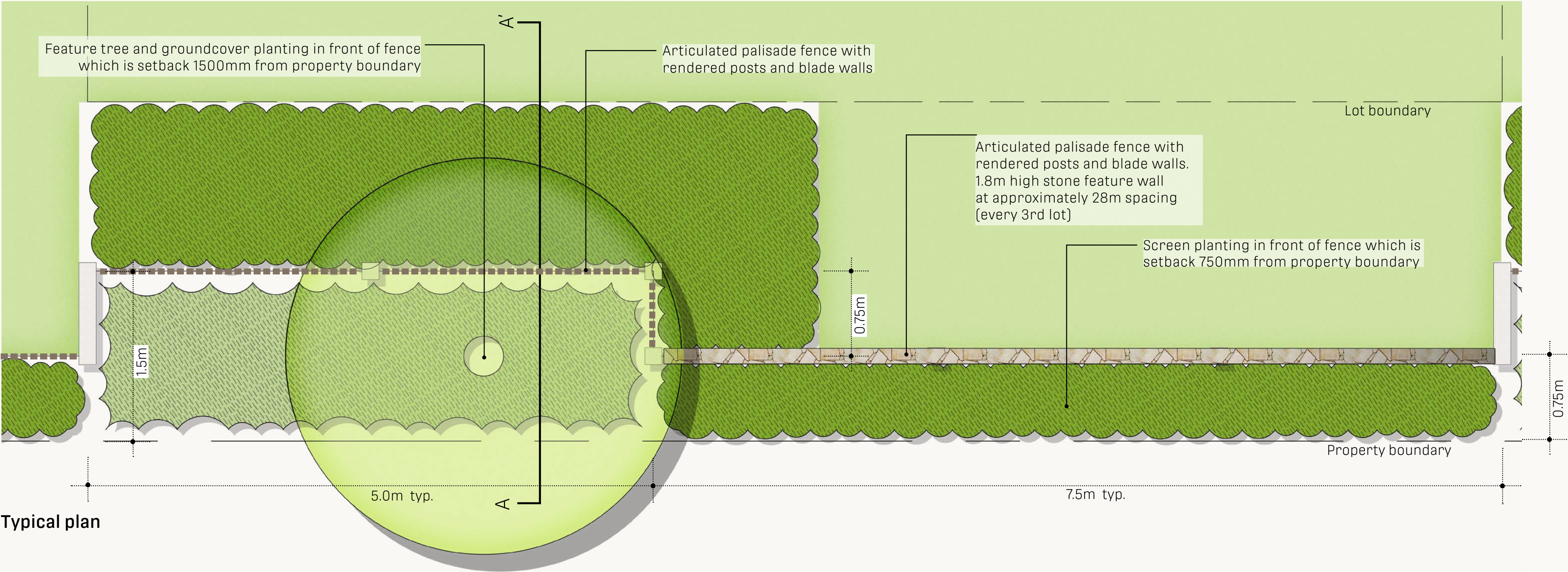


Elevation

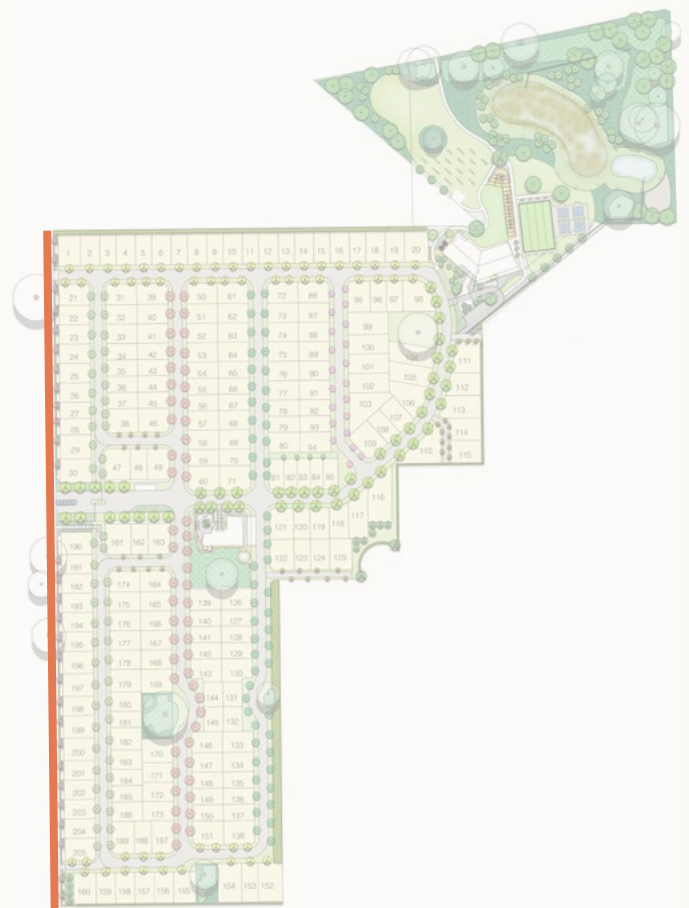


Entry Landscape Concept

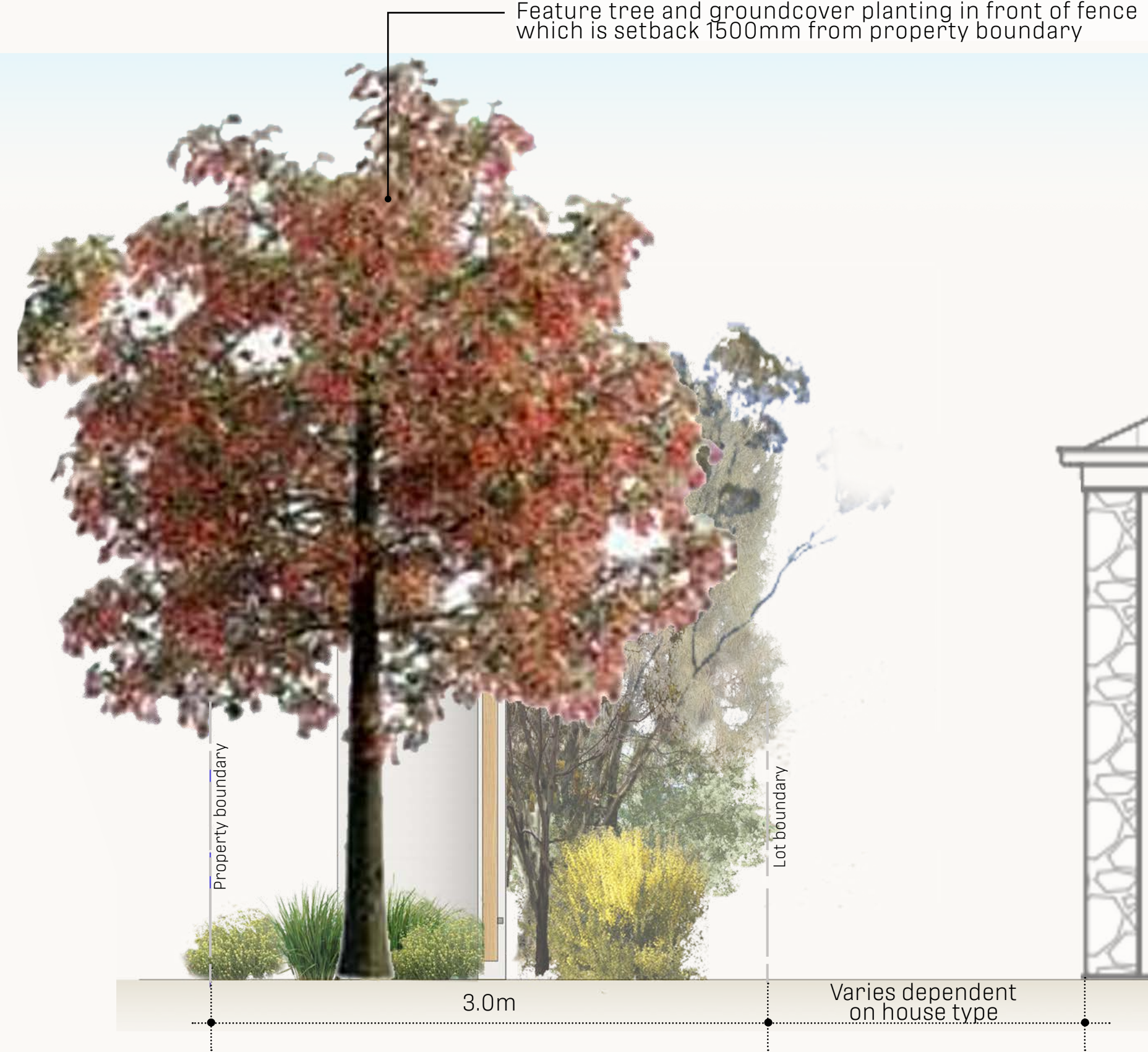
Articulated palisade fence with stone feature walls - Brears Road



Typical plan



Typical elevation



Typical section elevation A-A'

Edge treatments

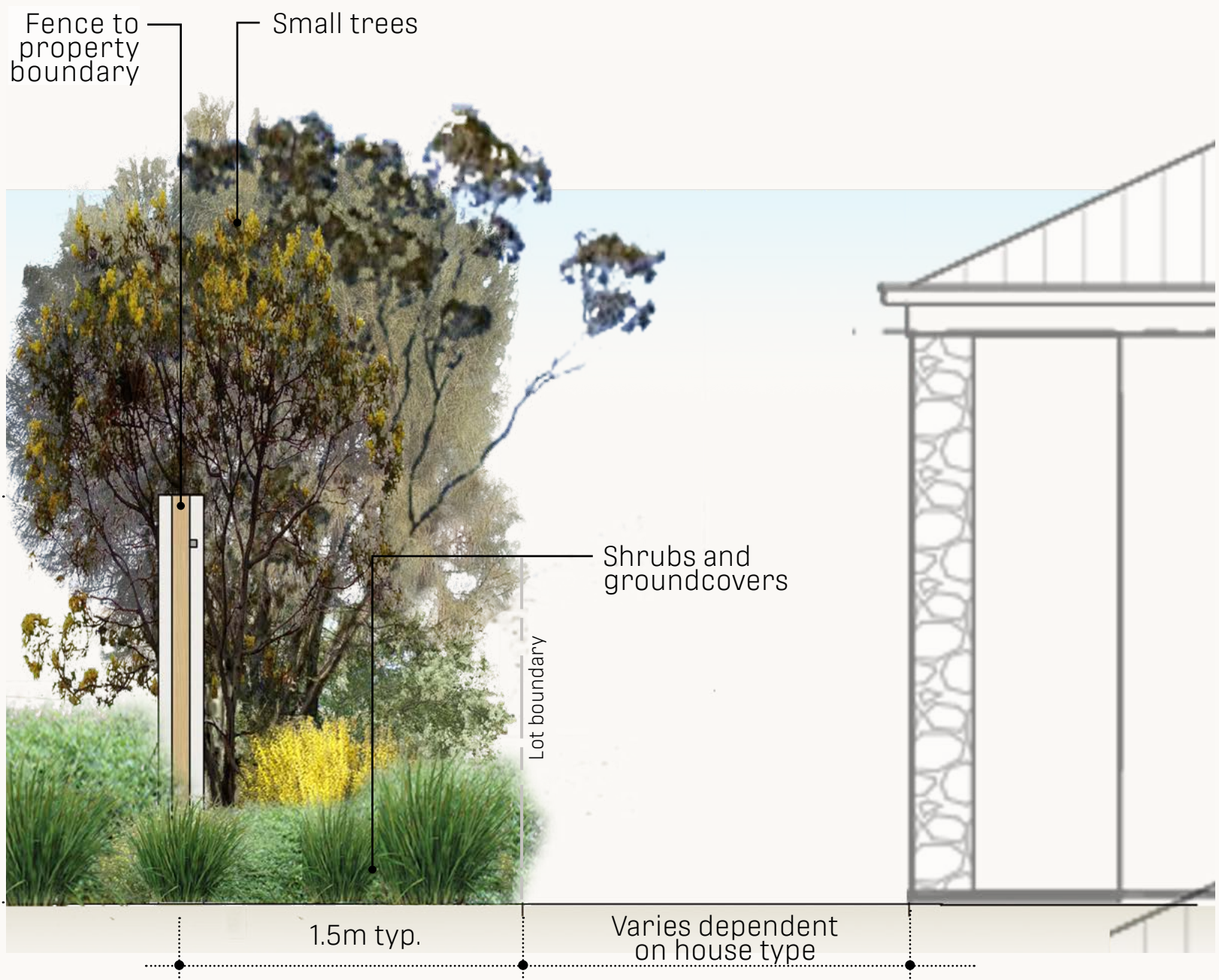
Palisade fence - Murray Valley Hwy



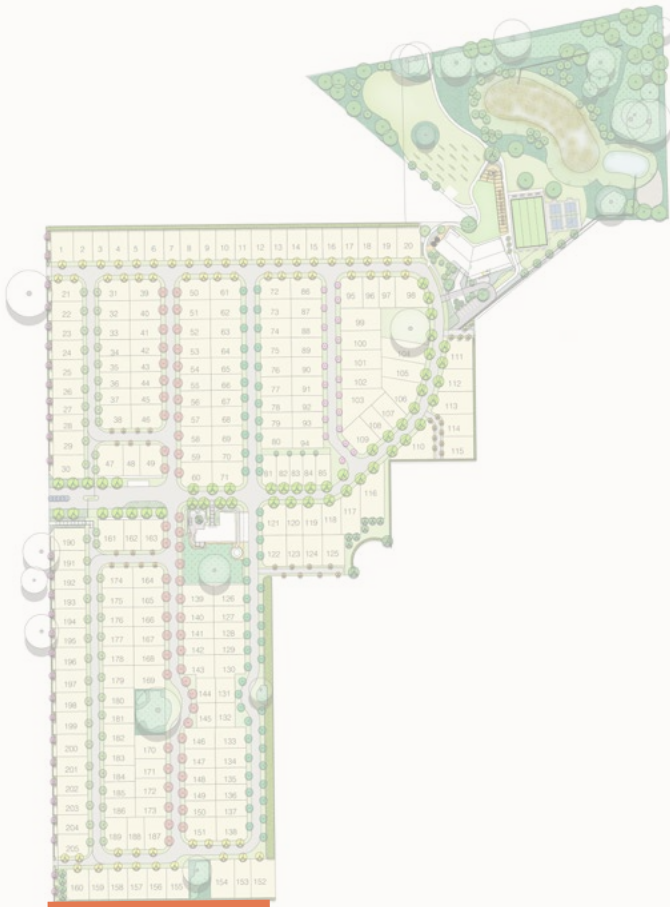
Reference image



Typical elevation



Typical section elevation



Colorbond fence



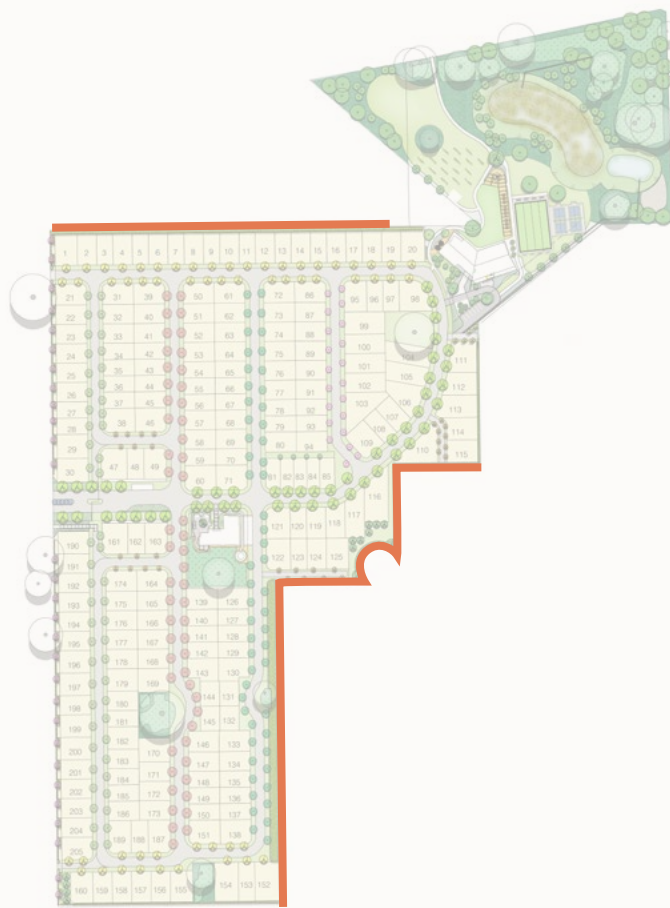
Reference image



Typical elevation



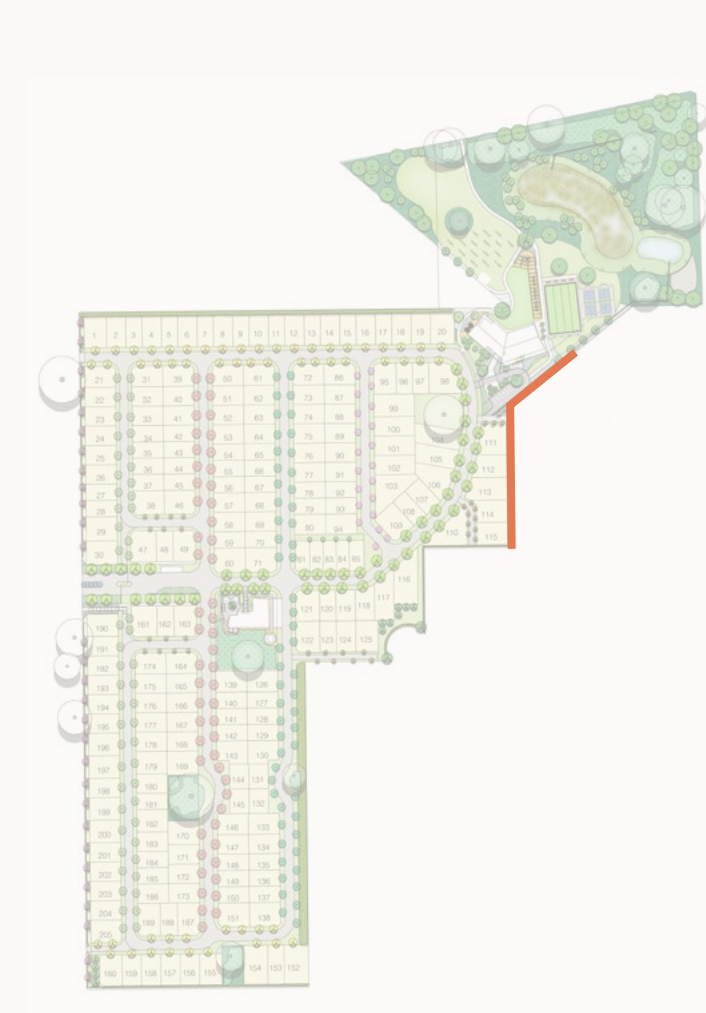
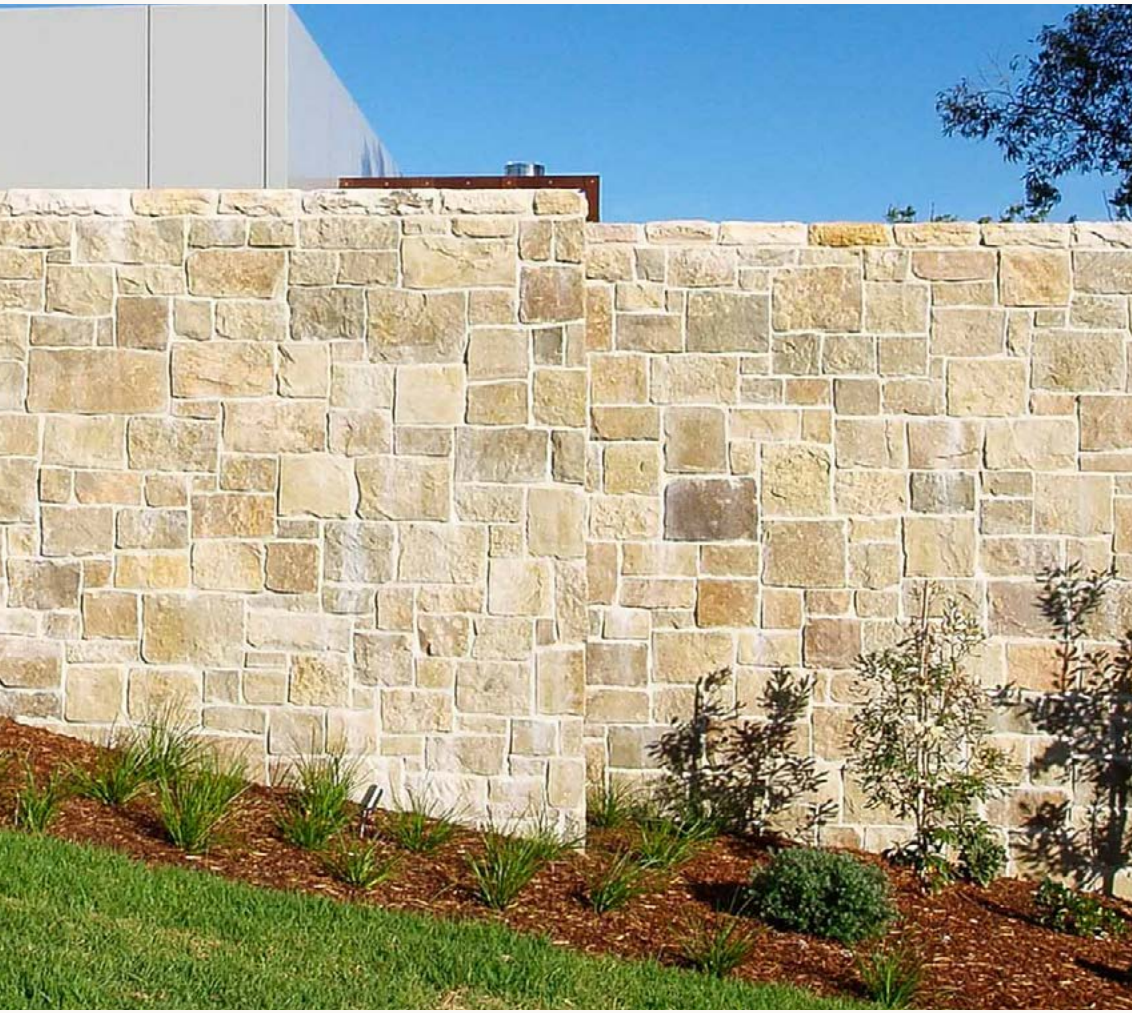
Typical section elevation



Edge treatments

Bushfire resistant shielding wall

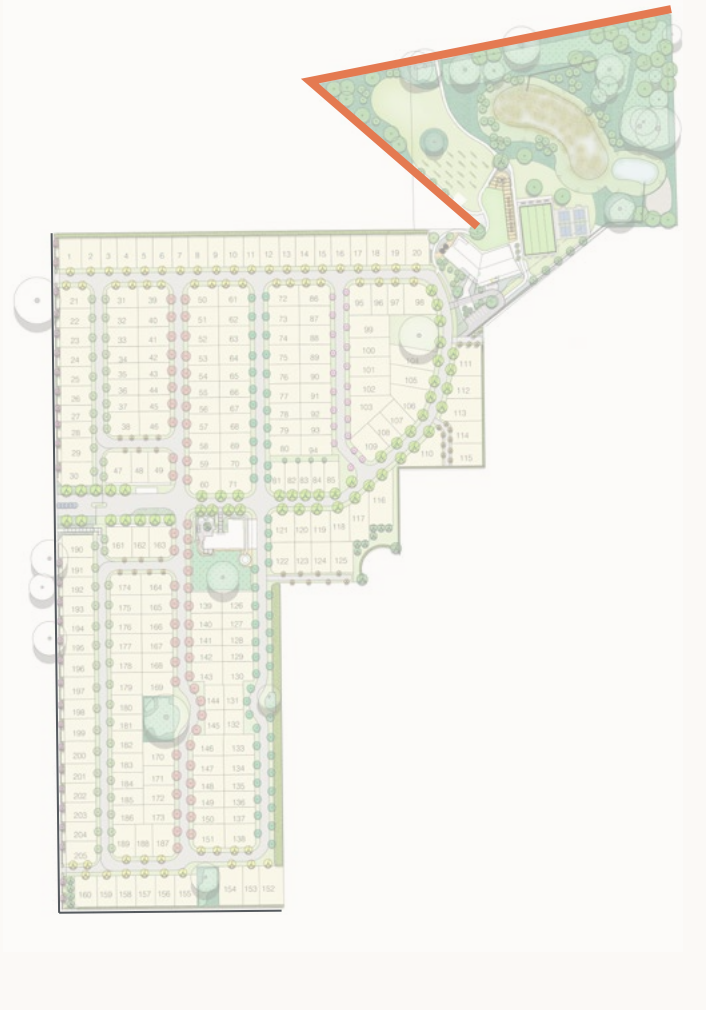
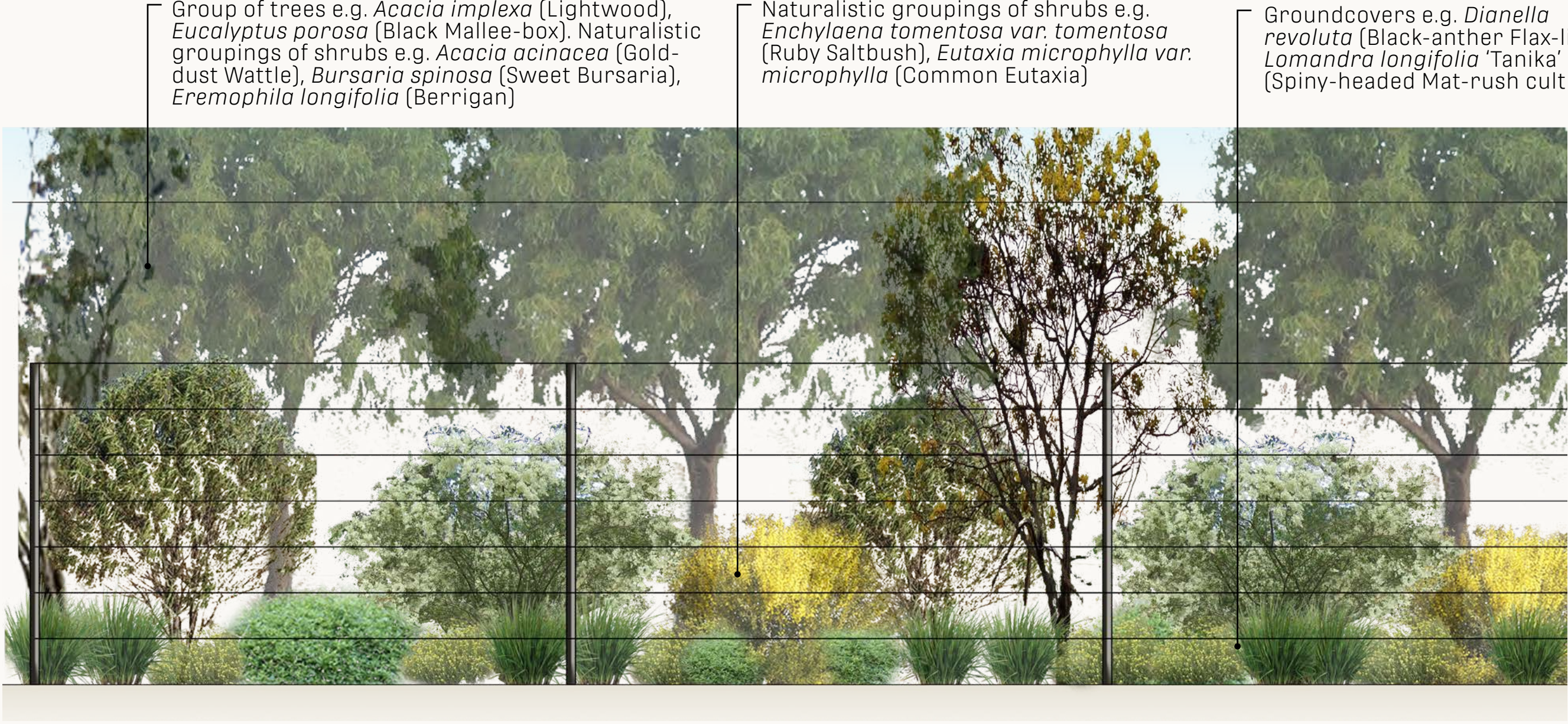
Materials: Feature wall constructed from stone, cement fibre sheet with steel frame or a non-combustible modular system to compliment architectural palette. To be constructed to a FRL of no less than 60/60/60 (in accordance with the construction requirement for a wall that is not sufficiently separated from a building subject to the BAL assessment - Section 3.2.1 of AS3959). The final construction design to the satisfaction of Fire Rescue Victoria.



Reference images

Typical elevation

Rural fence

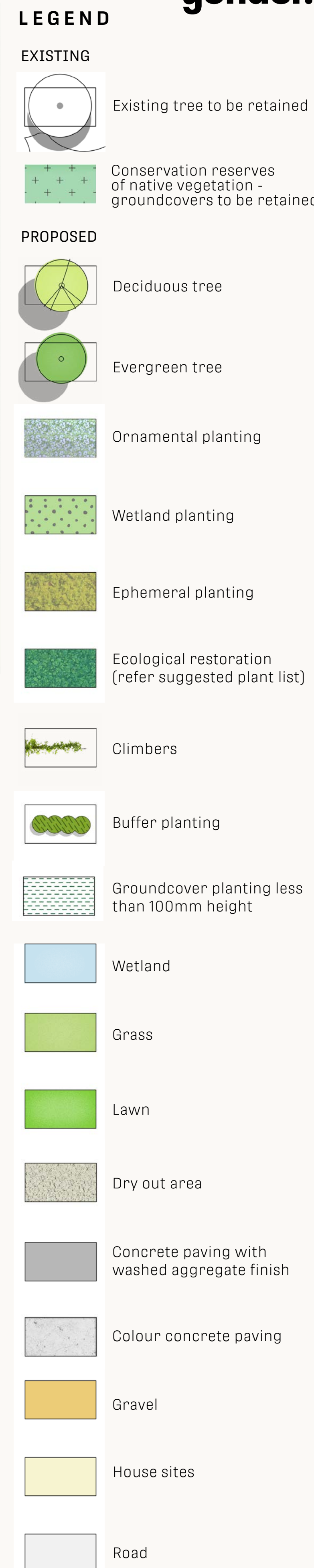


Reference image

Typical elevation

Typical section elevation

Edge treatments



Clubhouse Landscape Plan



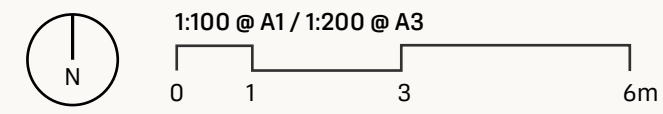
LEGEND

EXISTING

- Existing trees to be retained
- Conservation reserves of native vegetation - groundcovers to be retained












PROPOSED

- Tree
- Tree
- Shrub and ground covers
- Climbers
- Feature paving (e.g. bluestone crazy paving)
- Mulch under existing tree canopy
- Lots
- Grass
- Road
- Gravel












Wellness Centre Landscape Plan











Trees

	Botanical Name	Common Name	Mature height x spread
	<i>Brachychiton populneus x acerifolius</i> 'Bella Donna'	Bella Donna Brachychiton	5-6 x 3-4m
	<i>Brachychiton populneus x acerifolius</i> 'Jerilderie Red'	Jerilderie Red Brachychiton	8 x 7m
	<i>Corymbia citriodora</i> 'Scentuous'	Dwarf Lemon-scented Gum	7 x 3m
	<i>Gleditsia triacanthos</i> 'Continental'	Continental Thornless Honey Locust	9 x 5m
	<i>Hymenosporum flavum</i>	Native Frangipani	6-8m x 5-6m
	<i>Koelreuteria paniculata</i>	Golden Rain Tree	6 x 4m
	<i>Lagerstroemia indica</i> 'Sioux'	Crepe Myrtle	7m x 5m
	<i>Prunus cerasifera</i> 'Oakville Crimson Spire'	Fastigiate Flowering Cherry	6m x 2m
	<i>Quercus rubra</i>	Northern Red Oak	20m x 9m
	<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	7-12 x 5m
	<i>Ulmus parvifolia</i> 'Inspire'	Chinese Elm	10m x 4m

Hedges and shrubs






	Botanical Name	Common Name	Mature height x spread
	<i>Agonis flexuosa</i> 'After Dark'	Burgundy Willow Myrtle	6 x 3.5m
	<i>Correa</i> 'Ivory Lantern'	Correa	0.5-0.6 x 0.5-0.6m
	<i>Grevillea</i> 'Moonlight'	Moonlight Grevillea	3-5 x 2-4m
	<i>Kalanchoe orgyalis</i> 'Copper Spoons'	Copper Spoons	1 x 0.2m
	<i>Ligularia reniformis</i>	Tractor Seat Plant	0.8-0.8m
	<i>Loropetalum chinense</i> 'White'	Fringe Flower	1.5 x 1.5m
	<i>Prunus lusitanica</i>	Portugese Laurel	5 x 3m
	<i>Raphiolepis indica</i> 'Oriental Pearl'	Indian Hawthorn	0.8-1 x 1m
	<i>Raphiolepis indica</i> 'Snow Maiden'	Indian Hawthorn	0.75 x 0.5m

Groundcovers and tufted species

	Botanical Name	Common Name	Mature height x spread
	<i>Craspedia globosa</i>	Billy Buttons	0.5-1 x 0.3-0.5m
	<i>Dichondra argentea</i> 'Silver Falls'	Kidney Weed	0m1 x 1m
	<i>Doryanthes excelsa</i>	GyMEA Lily	2-4 x 2-3m
	<i>Eremophila</i> 'Winter Gold'	Emu Bush	1.5 m x 1m
	<i>Liriope muscari</i> 'Evergreen Giant'	Lilyturf	0.6 x 0.6m
	<i>Lomandra longifolia</i> 'Verday'	Spiny-headed Mat-rush cultivar	0.5-0.6 x 0.5-0.6m
	<i>Nandina domestica</i> 'LemLim'	Lime Nandina	0.7-0.9 x 0.7-0.9m
	<i>Poa sieberiana</i>	Blue Tussock Grass	1 x 0.6m
	<i>Senecio mandraliscae</i>	Blue Chalksticks	0.3-0.6 x 0.3-0.6m
Climbers			
	<i>Parthenocissus henryana</i>	Silver Vein Creeper	3-12m spread
	<i>Trachelospermum jasminoides</i>	Star Jasmine	2-3m spread

Suggested Plant List

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Trees			
	Botanical Name	Common Name	Mature height x spread
	<i>Acacia implexa</i>	Lightwood	8 – 10m x 5m
	<i>Acacia pycnantha</i>	Golden Wattle	3 – 10m x 2 – 5m
	<i>Allocasuarina lehmannii</i>	Buloke	9 – 10m x 5 – 8m
	<i>Eucalyptus largiflorens</i>	Black Box	10 – 20m x 8 – 15m
	<i>Eucalyptus porosa</i>	Black Mallee-box	4 – 10m x 4 – 6m

Shrubs			
	Botanical Name	Common Name	Mature height x spread
	<i>Acacia acinacea</i>	Gold-dust Wattle	0.5 – 2.5m x 2 – 2.5m
	<i>Bursaria spinosa</i>	Sweet Bursaria	3 – 4m x 1 – 3m
	<i>Enchylaena tomentosa</i> var. <i>tomentosa</i>	Ruby Saltbush	0.4m x 1m
	<i>Eremophila longifolia</i>	Berrigan	2 – 4m x 1.5 – 2m
	<i>Eutaxia microphylla</i> var. <i>microphylla</i>	Common Eutaxia	1m x 1 – 1.5m

Forbs, grasses and tussocks			
	Botanical Name	Common Name	Mature height x spread
	<i>Calocephalus citreus</i>	Lemon Beauty-heads	0.3m x 0.3m
	<i>Dianella revoluta</i>	Black-anther Flax-lily	1m x 0.6m
	<i>Lomandra longifolia</i>	Spiny-headed Mat-rush	0.5 – 0.6m x 0.5m
	<i>Poa labillardieri</i>	Common Tussock Grass	0.3-0.6m x 0.3-0.6m

Species List is largely based on appropriate indigenous species from EVC 803: Plains Woodland.

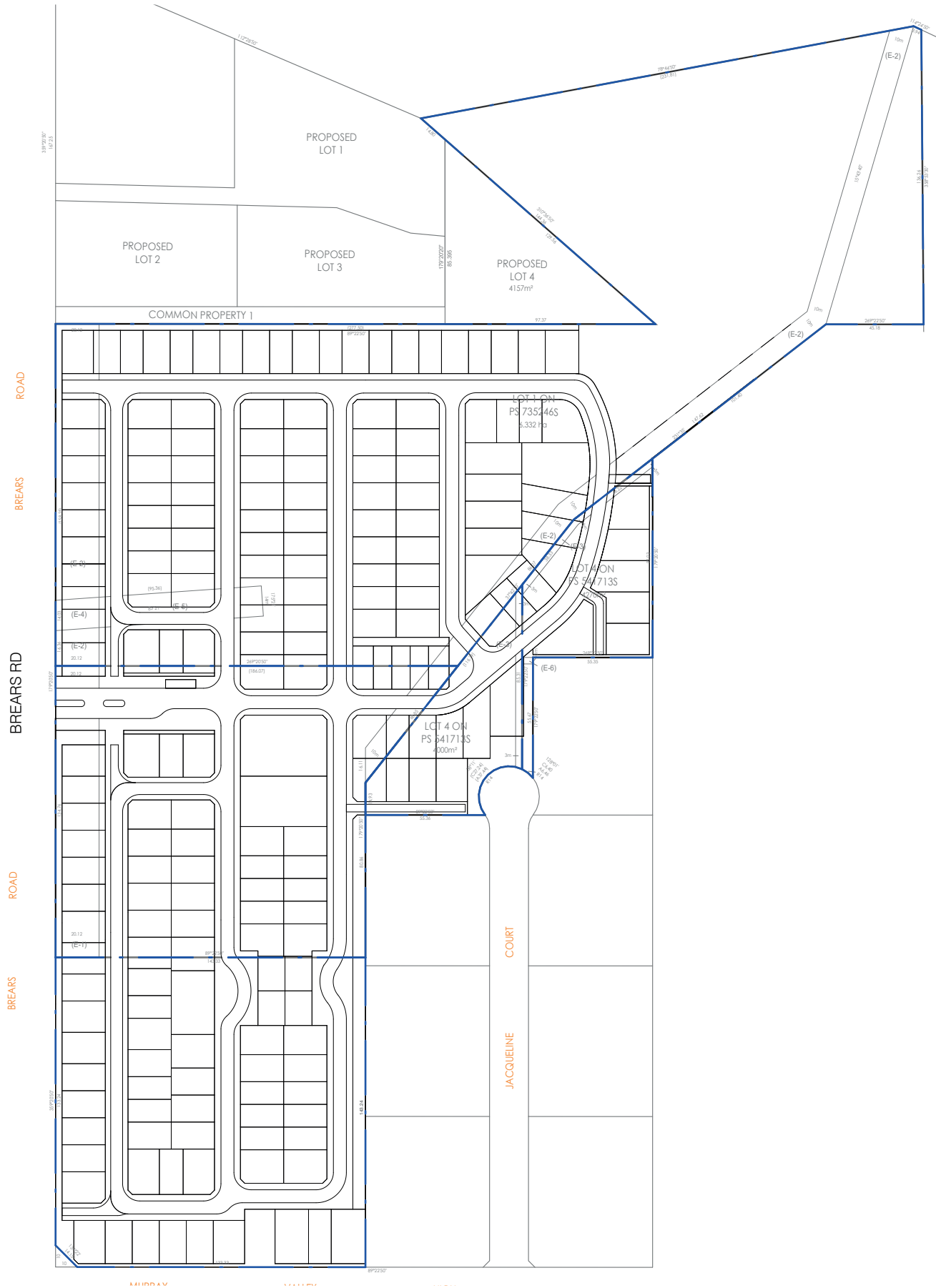
Suggested Plant List - buffer / ecological restoration planting



Master Plan

Cadastral Site Boundaries

ROAD, YARRAWONGA 3750



SITE SUMMARY

SITE AREA:	11.25 Ha
RESIDENTIAL SITES:	205

1:2500 @ A3



Site Types

House Sites by Frontage and Mix



LEGEND

INDICATIVE VARIOUS HOUSE SITE TYPES (Indicative only may be subject to change).

- 8.5m Frontage Sites
 - 10.5m Frontage Sites
 - 10.5m Frontage Sites - Edge Condition
 - 12.5m Frontage Sites
 - 12.5m Frontage Sites - Edge Condition
 - 14.5m Frontage Sites
 - 14.5m Frontage Sites - Edge Condition
 - 15.5m Frontage Alternate Sites
 - 15.5m Frontage Alternate Sites - Edge Condition
 - 16m Frontage Sites
 - Special Sites
- Site Depths**
House site depths are 20m with the exception of the 16m frontage sites with a depth of 12.5m
- Overall LLC Site Boundary

Frontage (m)	Est. No.	Mix
8.5m Sites	5	2%
10.5m Sites	51	25%
10.5m Sites - Edge Condition	4	2%
12.5m Sites	78	38%
12.5m Sites - Edge Condition	21	10%
14.5m Sites	15	7%
14.5m Sites - Edge Condition	8	4%
15.5m Alternative Sites	14	7%
12.5m Alternative Sites - Edge Condition	2	1%
16m Shallow Sites	4	2%
Special Sites	3	1%
Yield Estimate	205	100%

Staging Diagram

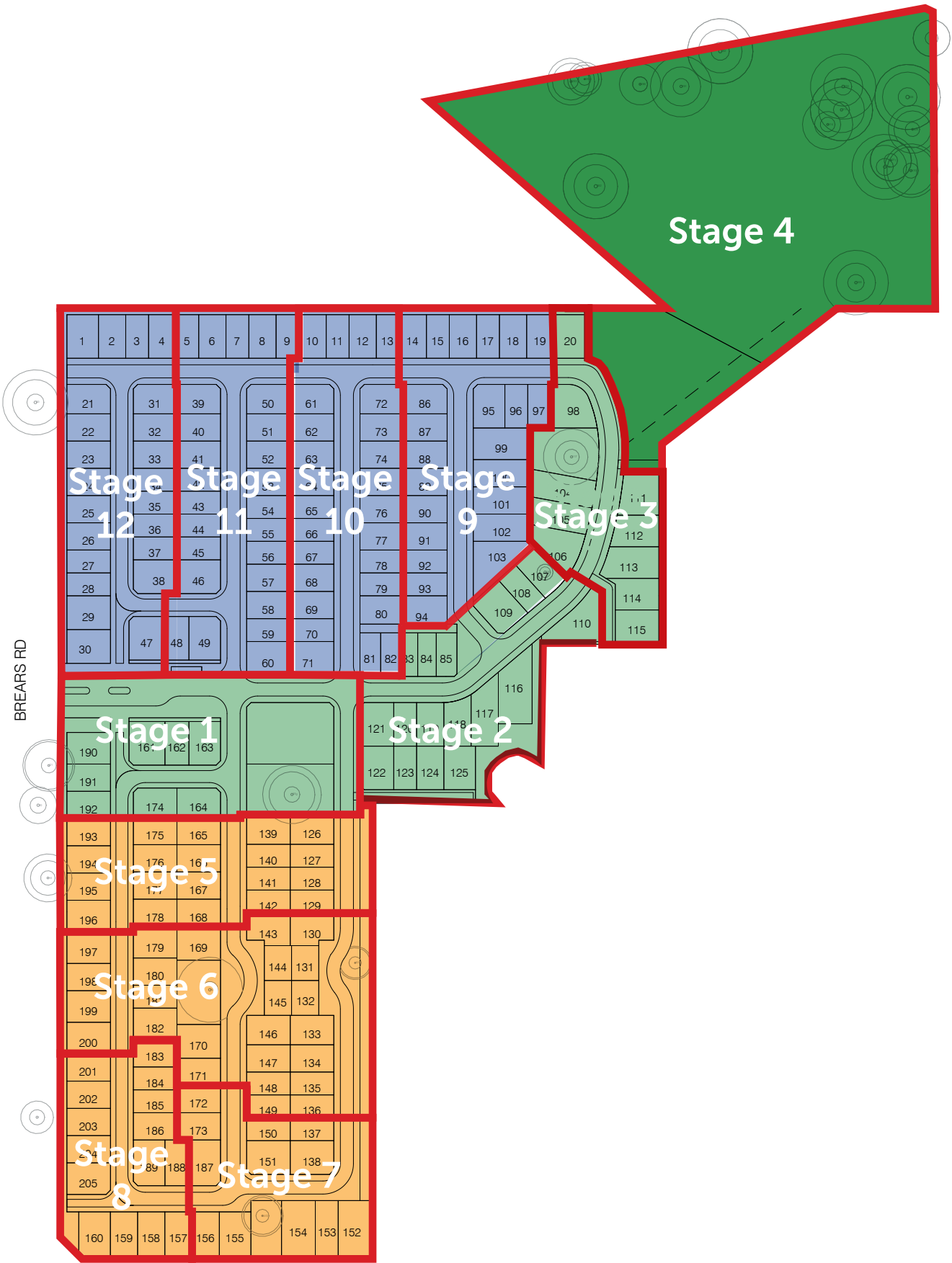
Delivery program

NOTE:

This diagram shows an indicative approach to the staging of the Civil Works across the site.

Dwelling construction will follow the same sequence however in smaller sub-stages.

The Wellness Center and Community Facilities construction will follow stage 1 and 3 respectively.

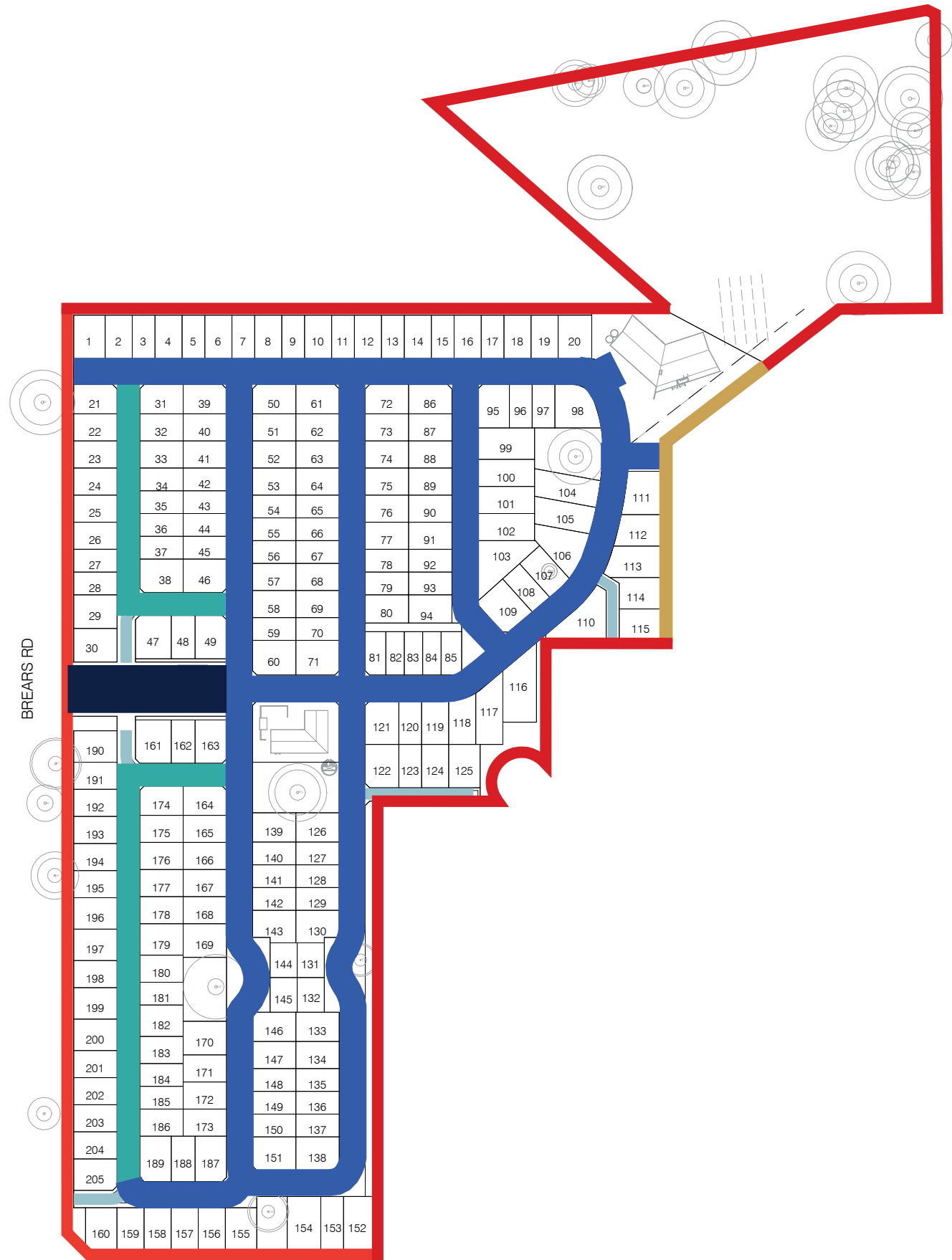


1:2500 @ A3



Road Hierarchy and Fence Types

To be developed by Civil engineers and Landscape Architect



LEGEND

FENCING:

INDICATIVE FENCING LOCATION -

2.1m HIGH SHIELDING WALL
CONSTRUCTED FROM NON-
COMBUSTIBLE MATERIAL.

REFER TO BUSHFIRE MANAGEMENT
STATEMENT AND LANDSCAPE
MASTERPLAN

ROAD HIERARCHY:

25m ENTRY ROAD

12m RESIDENTIAL ROAD

10.5m RESIDENTIAL ROAD

6m DRIVEWAY

NOTE:

Refer to Landscape Architect Report for
further information regarding Fence types
and boundary treatments.

100m
1:2500 @ A3

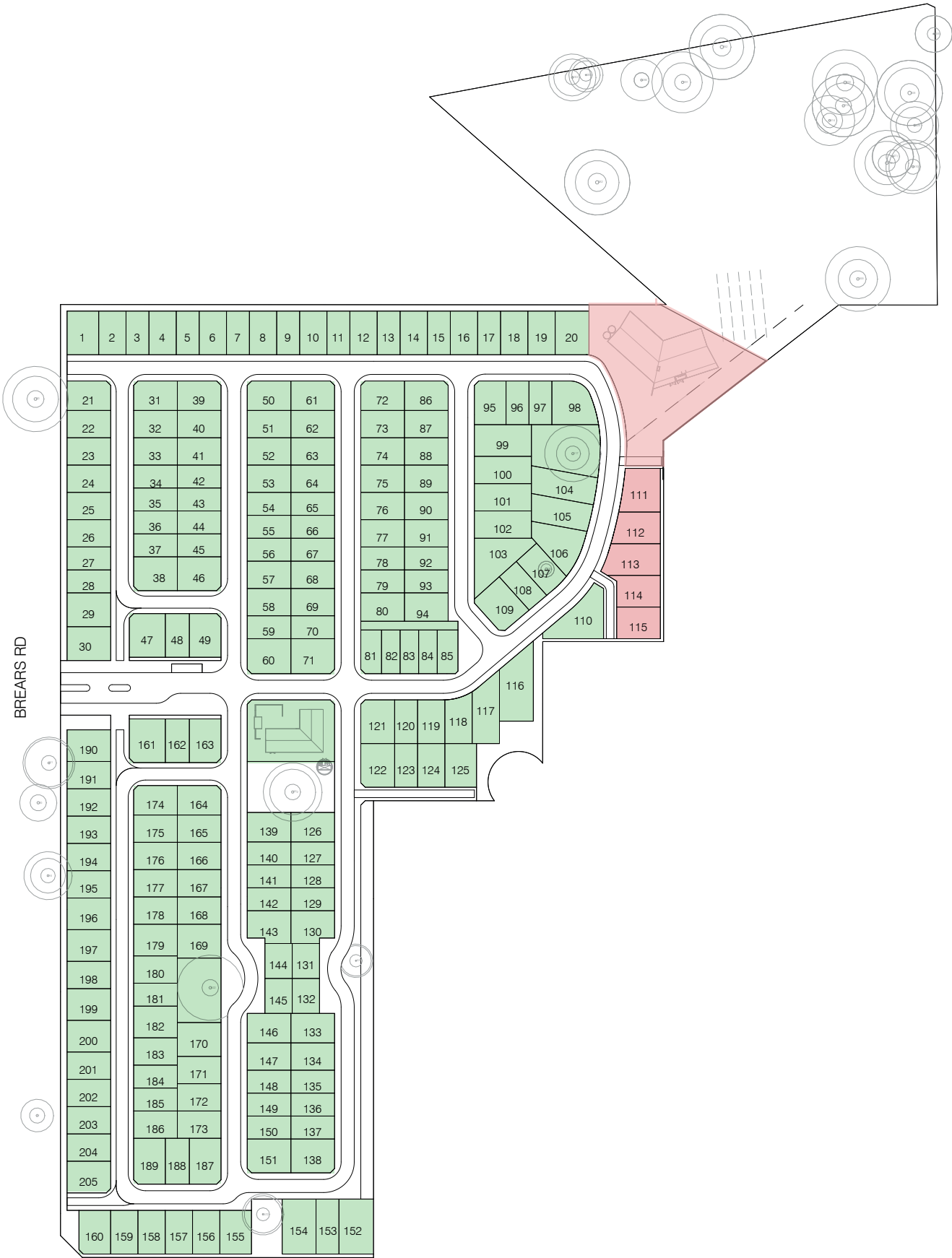


BAL Construction Standard Plan

For future endorsement

LEGEND

- BAL-29 Standard
- BAL-12.5 Standard

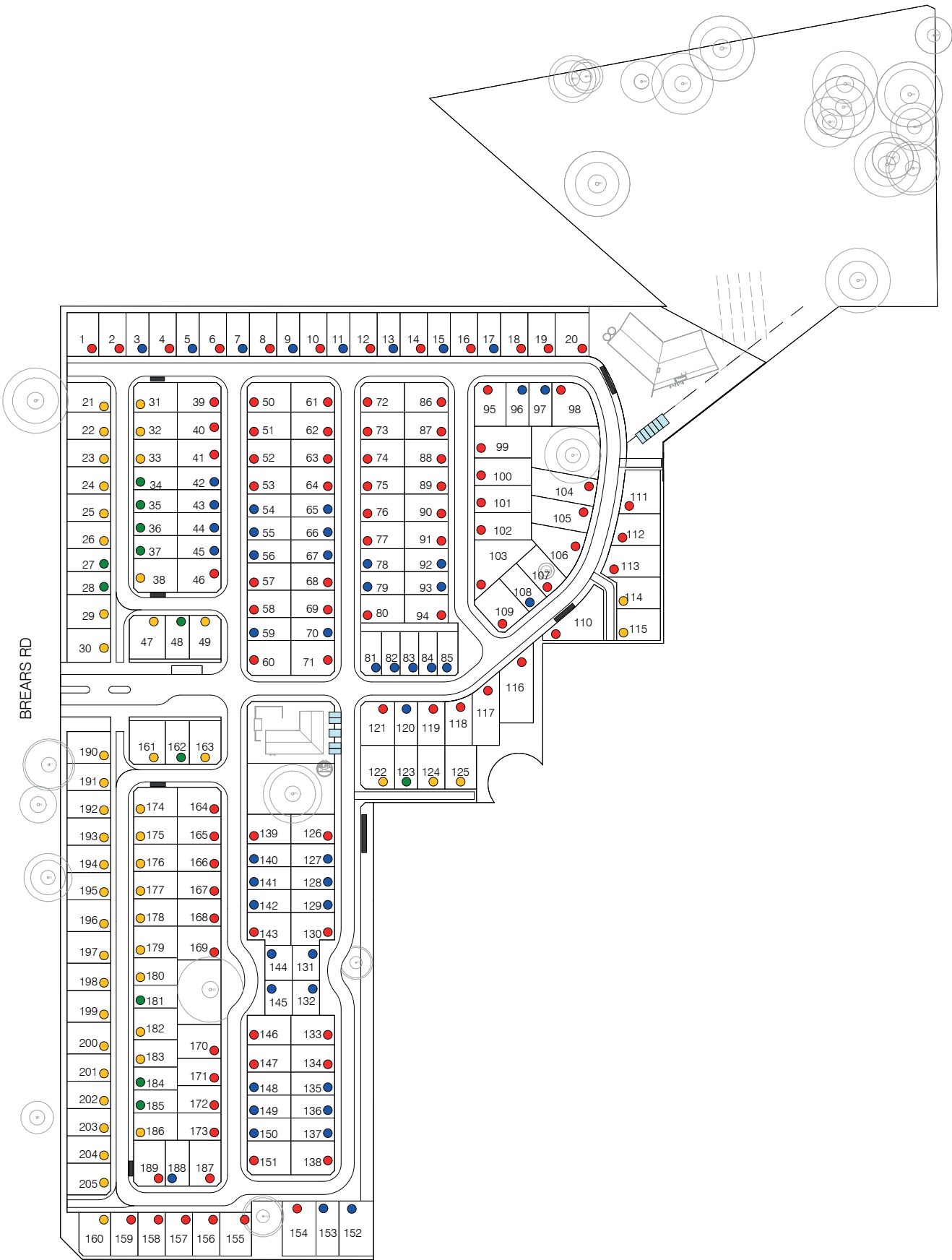


100m
1:2500 @ A3



Parking

To be developed by Civil engineers and Landscape Architect



LEGEND

- PARKING - 12m ROADS
- Double Car Garage & 2 Visitor Parks in Driveway
Total Resident Parks - 186
Total Visitor Parks - 186
 - Single Car Garage & 1 Visitor Park in Driveway
Total Resident Parks - 52
Total Visitor Parks - 52
- PARKING - 10.5m ROADS
- Double Car Garage & no Visitor Park in Driveway (10.5m Roads)
Total Resident Parks - 96
 - Single Car Garage & no Visitor Park in Driveway (10.5m Roads)
Total Resident Parks - 12
- Facilities Parking Spaces
Total Visitor Parks - 11
- Designated Waste collection area for properties serviced by short shared access laneways

PARKING CAPACITY

Resident Parking provided:	346 Cars
Clubhouse Parking provided:	6 Cars
Wellness Parking provided:	5 Cars
Visitor Parking provided:	238Cars
Total Parking:	595 Cars

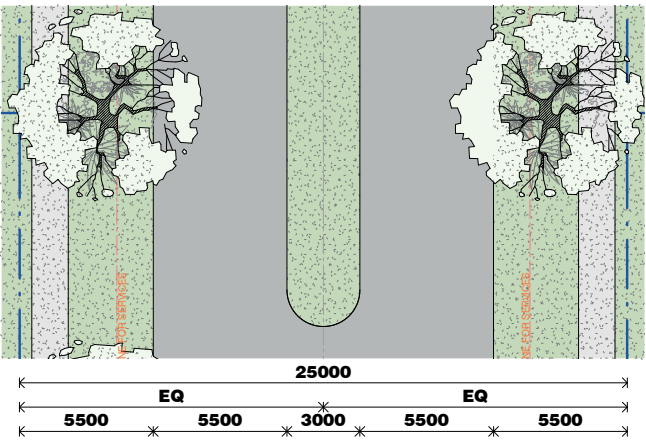
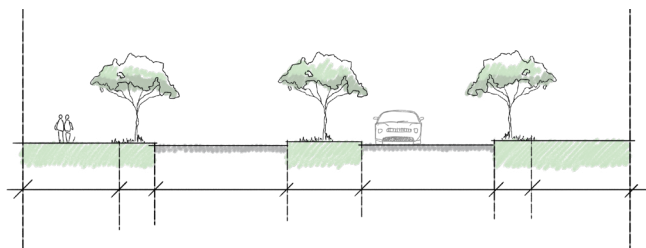
Note: Final parking number will be determined by the house type selected.

1:2500 @ A3



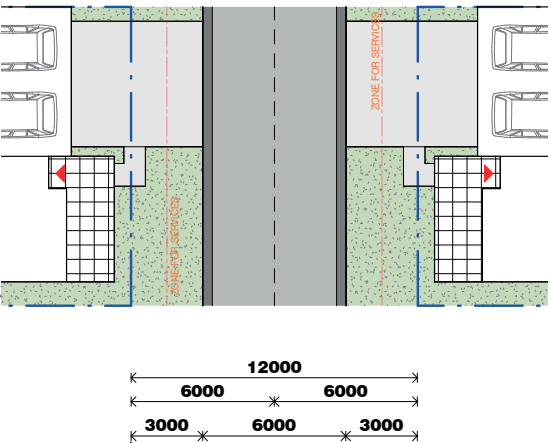
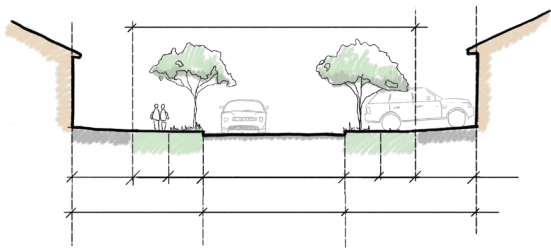
Road Hierarchy, Street Sections

To be developed by Civil engineers (not to scale)



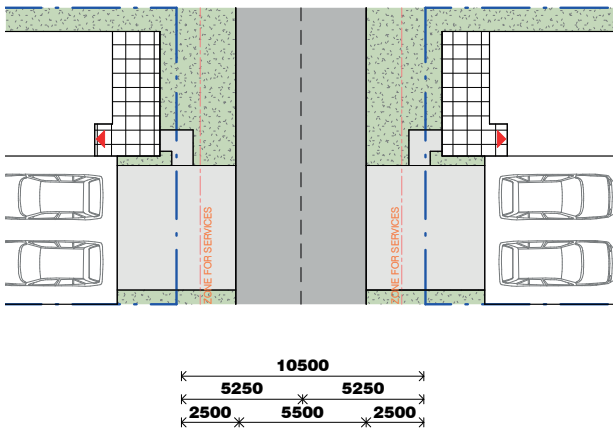
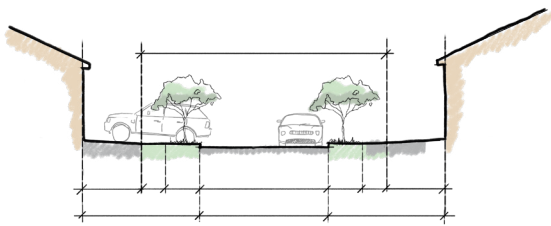
25 m Entry Road

No Driveways come off Entry Road
Central Median Strip with Gates
Landscape Verges
Final Design to be developed with Civil Engineer & Landscape Architect



12 m Residential Street

Low Speed Shared ways
Landscape Verges with 1 x street tree per dwelling. Verge landscape integrates with house landscape.
No Footpaths as the streets are shared ways
5500mm setbacks from street to Garage to accommodate visitor Parking

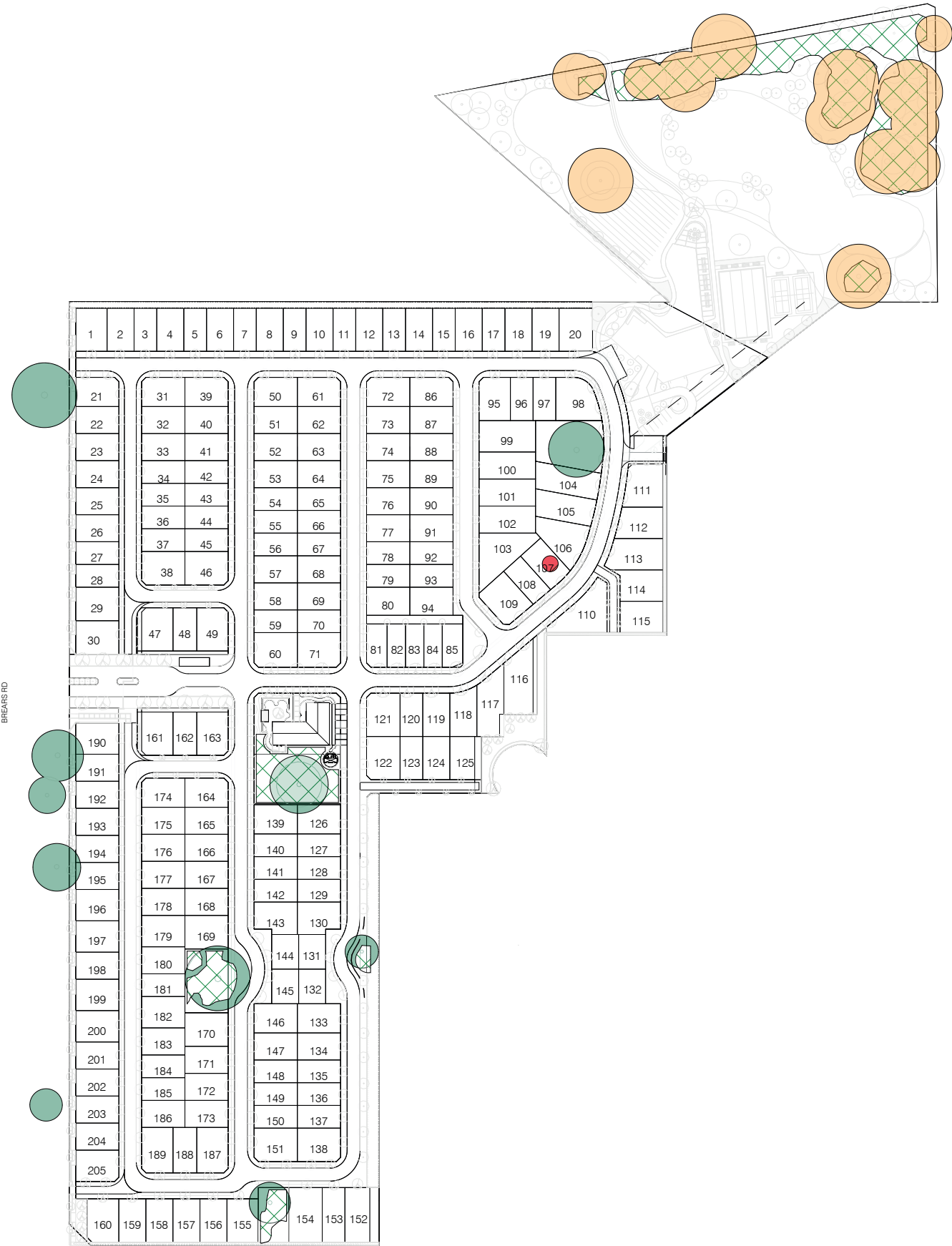


10.5m Residential Street

Low Speed Shared ways
Landscape Verges with 1 x street tree per dwelling. Verge landscape integrates with house landscape.
No Footpaths as the streets are shared ways

Native Vegetation Retention

Trees & Native Vegetation to be retained across LLC Site



LEGEND

- TREES TO BE RETAINED WITHIN RESIDENTIAL AREA (PER ARBORIST CAD 24/08/23)
- TREES TO BE RETAINED WITHIN RECREATION AREA (PER ARBORIST CAD 24/08/23)
- TREE 380 TO BE MOVED TO AND RETAINED IN RECREATION AREA
- CONSERVATION RESERVES OF NATIVE VEGETATION GROUND-COVER FOR RETENTION

NOTE: LOCATION OF EXISTING AND RETAINED NATIVE VEGETATION GROUND-COVER HAS BEEN PROVIDED BY NATURE ADVISORY (PER CAD PLAN 28/06/24)

LIST OF RETAINED TREES (TREE NUMBERS AND LOCATIONS REFER TO ARBORIST REPORT):

- 1
- 16
- 20
- 21
- 30
- 117
- 282
- 283
- 284
- 286
- 291
- 292
- 300
- 306
- 308
- 309
- 310
- 311
- 312
- 314
- 315
- 369
- 380 - TO BE MOVED TO RECREATION AREA
- 452
- 522
- 537
- 572

100m
1:2500 @ A3



Building Controls

Residential Sites

SETBACKS	BUILDING ELEMENT	REQUIREMENT
Main Perimeter LLC Property Boundary (Refer to adjacent Diagram 1)		
Adjoining Brears Road & Murray Valley Highway	Main Building walls	Minimum 2.5m <div></div>
Adjoining Brears Road & Murray Valley Highway	Main Building walls	Minimum 4m <div></div>
Adjoining Property	Main Building walls	Minimum 2.5m <div></div>
Adjoining Property	Main Building walls	Minimum 3.5m <div></div>
Internal Residential Sites		
Primary frontage site boundary	Single garage	Minimum 2m
	Double garage	Minimum 2m
	Main Building Walls	Minimum 1m
	Permitted encroachments - Including Verandahs, Pergolas, Patios and support structures/Decks and stairs / roofs /landscape elements.	Minimum 0m
Secondary road frontage site boundary (Note - does not apply to boundaries adjacent open space)	Main Building Walls	Minimum 1m
	Permitted encroachments - Including Verandahs, Pergolas, Patios and support structures/Decks and stairs / roofs /landscape elements.	Minimum 0m
Corner Site Boundary Truncations (Refer to Diagram 2)	Main building walls	See diagram2
	Permitted encroachments - Including Verandahs, Pergolas, Patios and support structures/Decks and stairs / roofs / landscape elements.	Minimum 0m
Between Dwellings	Between adjacent dwelling building walls.	Minimum 1m
	Between adjacent dwelling Fire Rated Walls.	Minimum 0m
OTHER CONTROLS	BUILDING ELEMENT	
	Building height	Maximum 9m above finished ground level

DIAGRAM 1 - Main site boundary setbacks (not to scale)

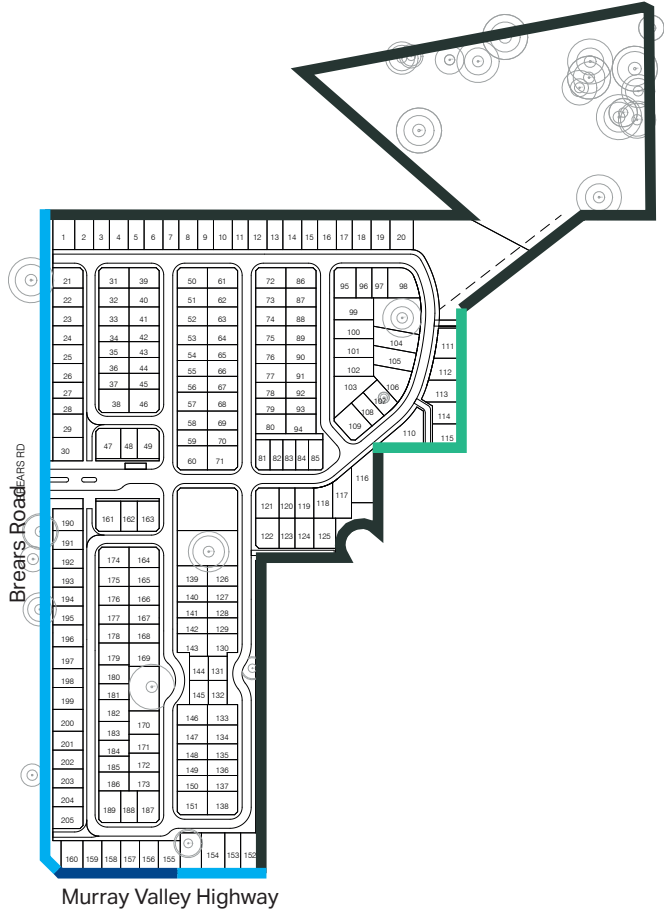
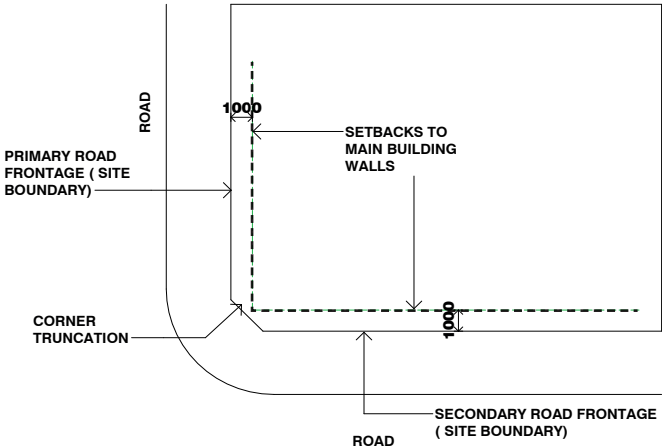
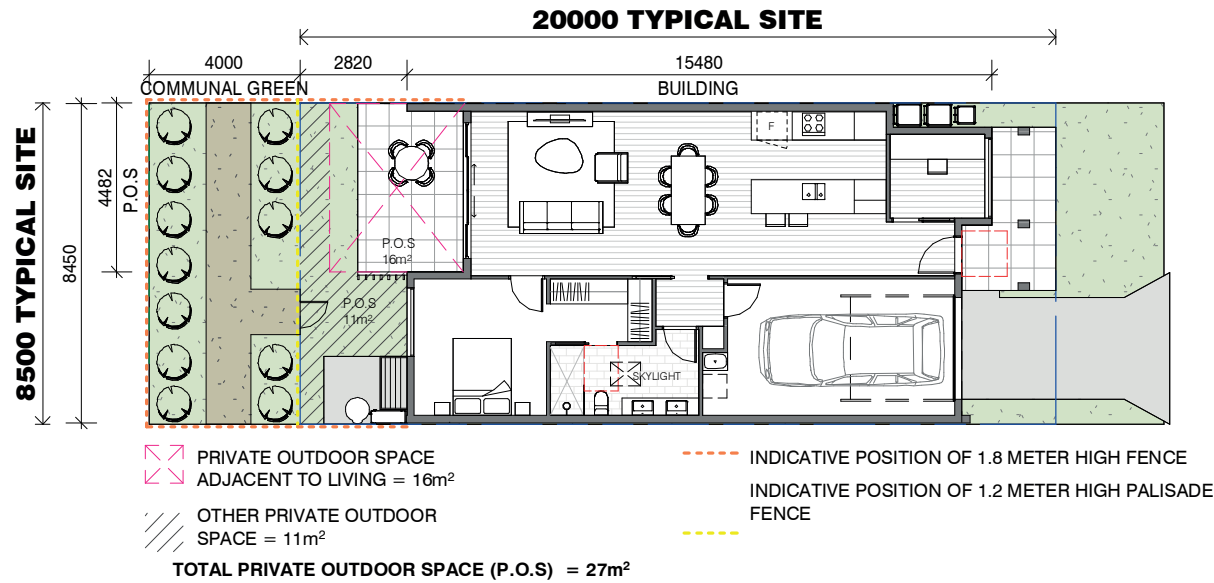


DIAGRAM 2 - Corner Truncations (not to scale)



HOUSE TYPE 1

8.5M X 20M SITE



1 HOUSE TYPE 01- GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 1 Bed
- 1 Bath

APPROX AREA SUMMARY

Garage	24 m ²
Internal	93 m ²
Outdoor (Patio, Verandah & Court, may be covered)	25 m ²
TOTAL	142m²

Roof area of Hip (including eaves & verandahs)	143m ²
Typical internal site area	107m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.



1:200 @ A3

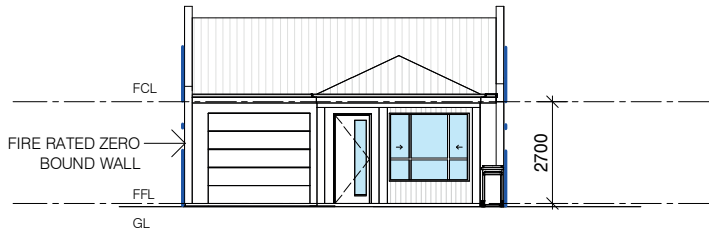
INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

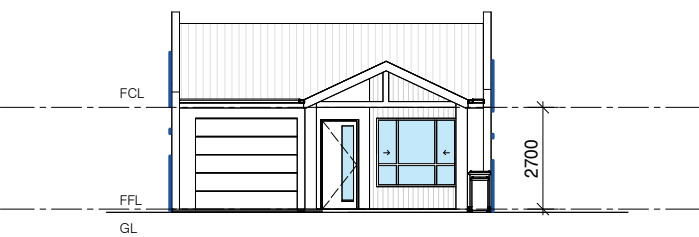
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan.



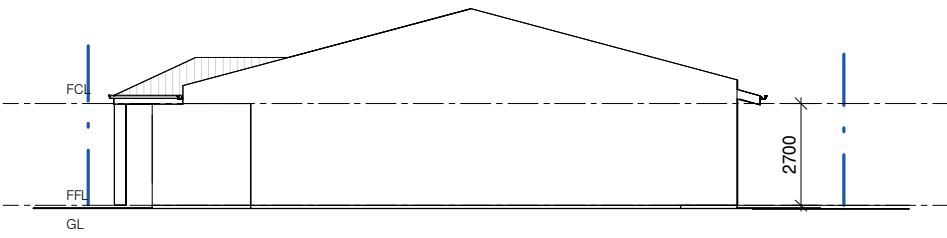
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



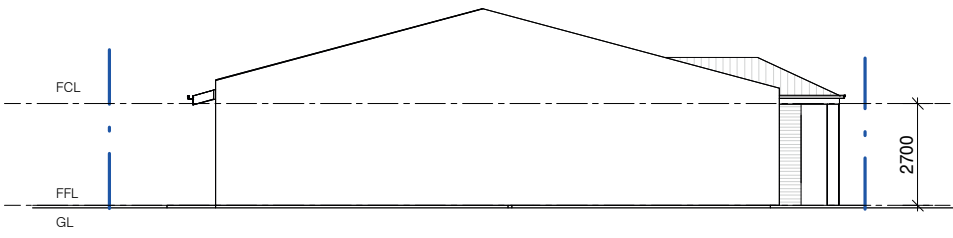
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_COUNTRY HIP
SCALE: 1 : 200



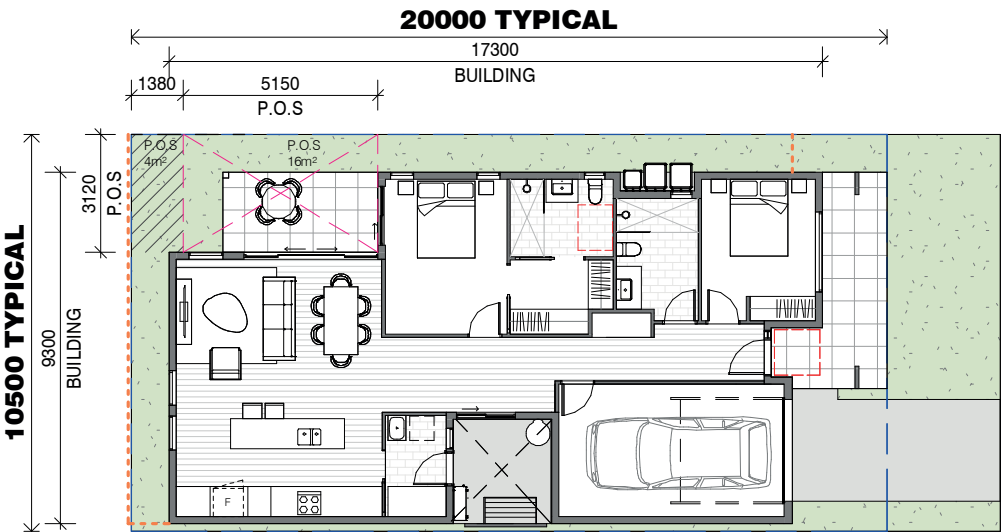
6 REAR ELEVATION_COUNTRY HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_COUNTRY HIP
SCALE: 1 : 200

HOUSE TYPE 2

10.5M X 20M SITE



1 HOUSE TYPE 02 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200

PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 16m²
OTHER PRIVATE OUTDOOR
SPACE = 4m²

TOTAL PRIVATE OUTDOOR SPACE
(P.O.S) = 22m²

INDICATIVE POSITION OF
1.8 METER HIGH FENCE

10m
1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 2 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	24m ²
Internal	112m ²
Outdoor (Patio, Verandah & Court may be covered)	26m ²
TOTAL	162m²

Roof area of Hip (including eaves & verandahs)	178m ²
Typical internal site area	210m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

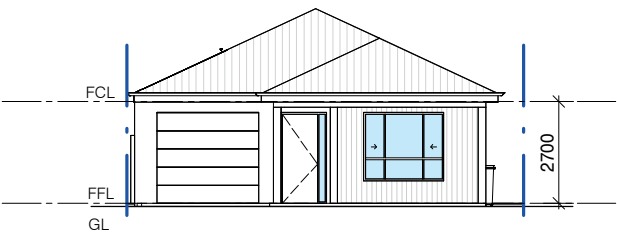
May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

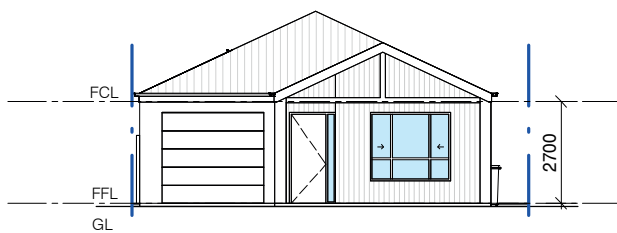
For specifications regarding bins, see Waste Management Plan.



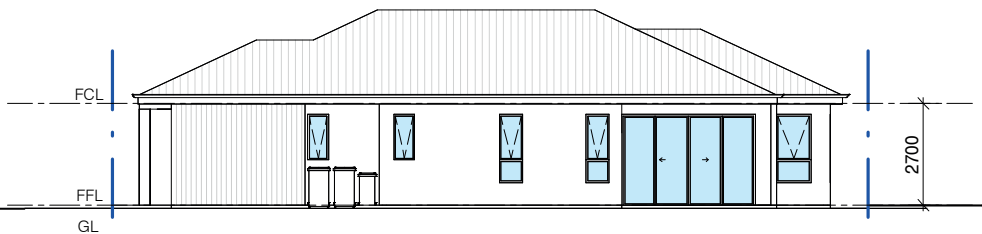
2 CONCEPT STREET ELEVATION_ COUNTRY HIP
SCALE: 1 : 200



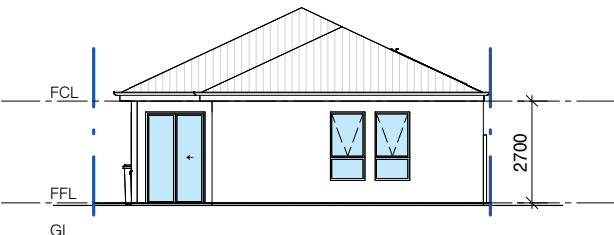
3 CONCEPT STREET ELEVATION_ VINEYARD ARCH
SCALE: 1 : 200



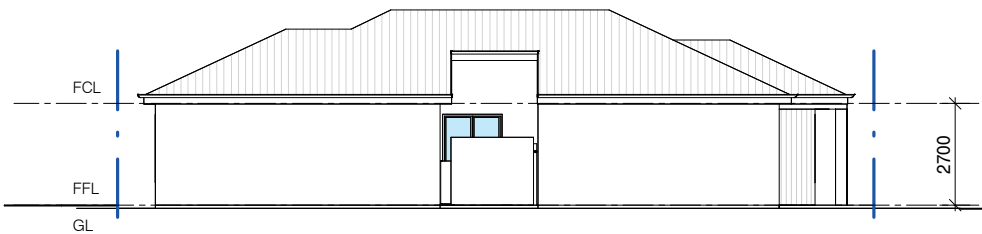
4 CONCEPT STREET ELEVATION_ COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_ COUNTRY HIP
SCALE: 1 : 200



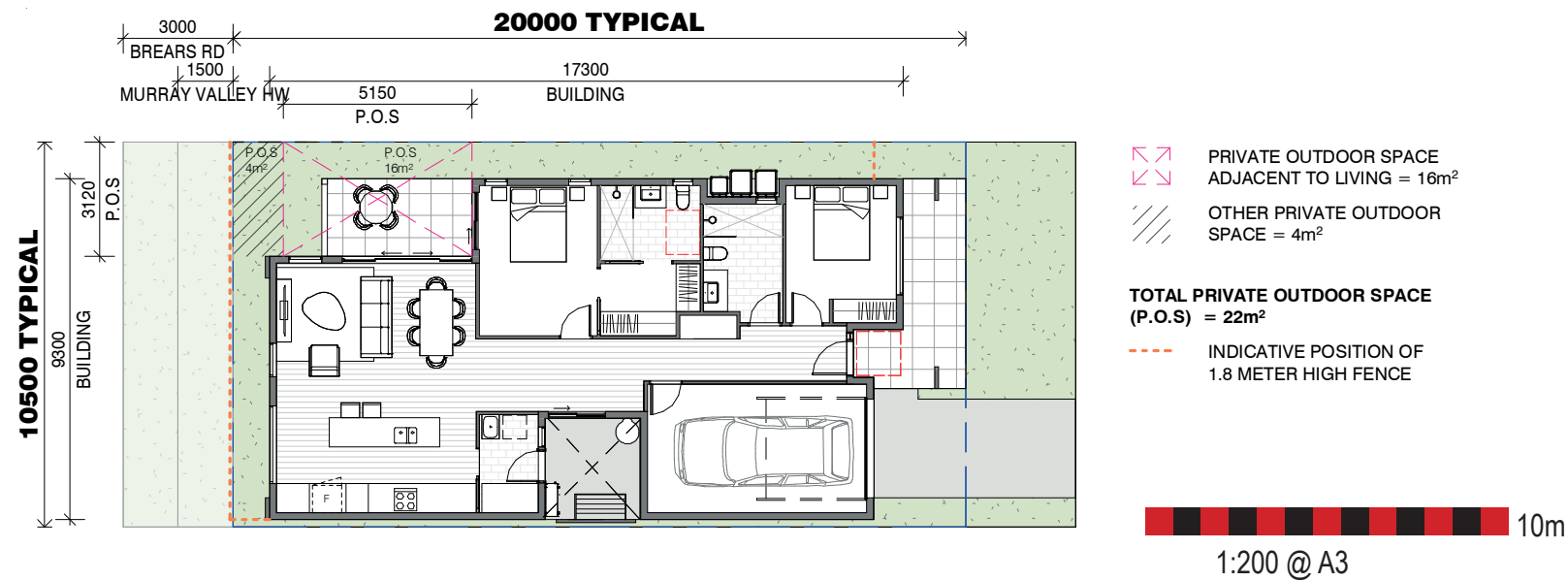
6 REAR ELEVATION_ COUNTRY HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_ COUNTRY HIP
SCALE: 1 : 200

HOUSE TYPE 2a - LLC Edge Condition

10.5M X 20M SITE



1 HOUSE TYPE 02 - GENERAL ARRANGEMENT PLAN DUAL
SCALE: 1 : 200

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 2 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	24m ²
Internal	112m ²
Outdoor (Patio, Verandah & Court may be covered)	26m ²
TOTAL	162m²

Roof area of Vineyard Arch (inc eaves & verandahs)	172m ²
Typical internal site area	210m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

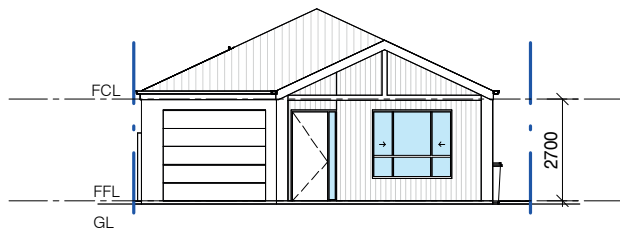
NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

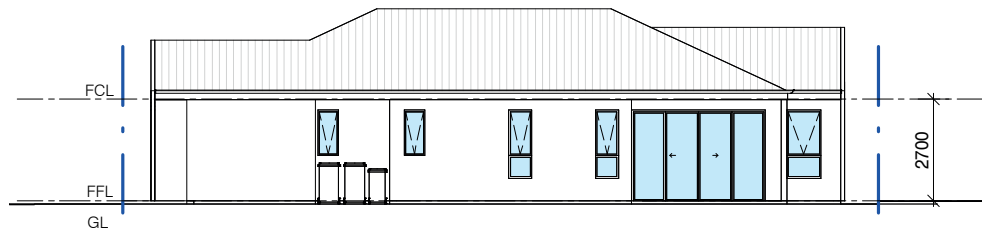
For specifications regarding bins, see Waste Management Plan.



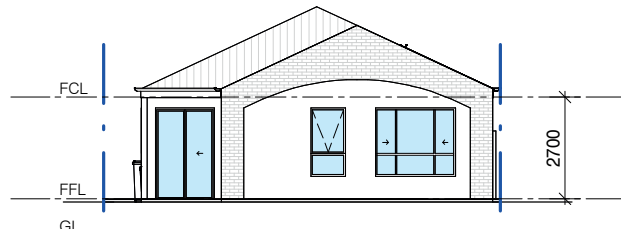
2 CONCEPT STREET ELEVATION_VINEYARD ARCH DUAL
SCALE: 1 : 200



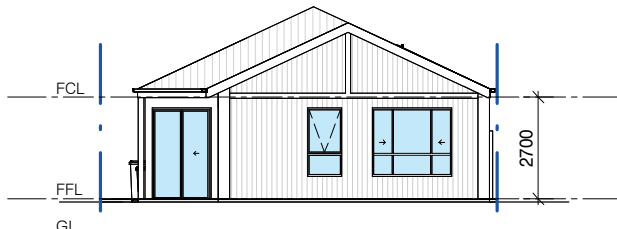
3 CONCEPT STREET ELEVATION_COUNTRY GABLE DUAL
SCALE: 1 : 200



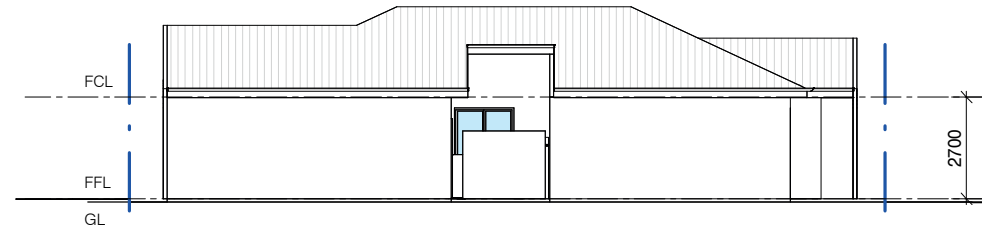
4 SIDE ELEVATION A_VINEYARD ARCH DUAL
SCALE: 1 : 200



5 REAR ELEVATION_VINEYARD ARCH_DUAL
SCALE: 1 : 200



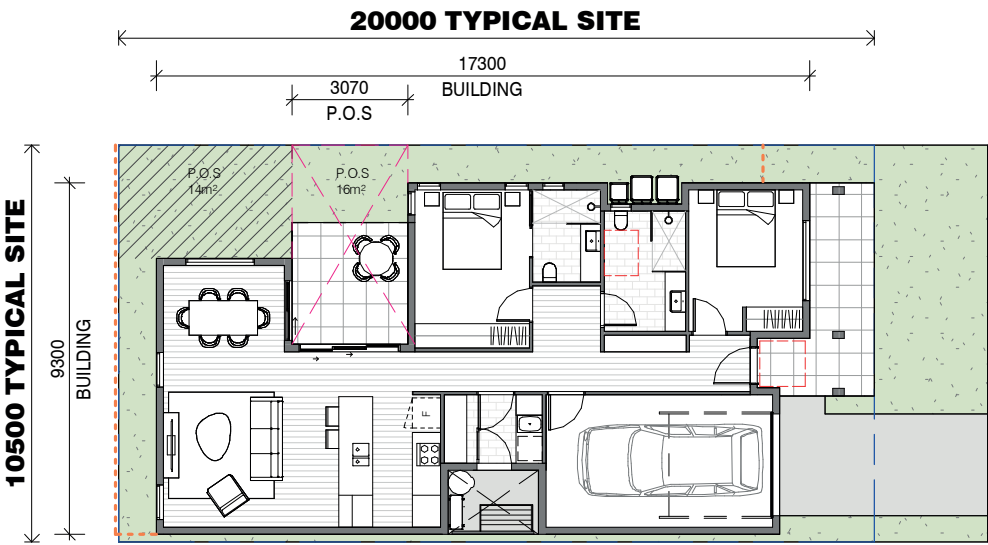
6 REAR ELEVATION_COUNTRY GABLE_DUAL
SCALE: 1 : 200



7 SIDE ELEVATION B_VINEYARD ARCH DUAL
SCALE: 1 : 200

HOUSE TYPE 3

10.5M X 20M SITE



PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 16m²

OTHER PRIVATE OUTDOOR
SPACE = 14m²

**TOTAL PRIVATE OUTDOOR SPACE
(P.O.S) = 31m²**

INDICATIVE POSITION OF 1.8
METER HIGH FENCE



1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 2 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	23m ²
Internal	106m ²
Outdoor (Patio, Verandah & Court, may be covered)	26m ²
TOTAL	155m²

Roof area of Hip (including eaves & verandahs)	167m ²
Typical internal site area	210m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0 x 3.5mm.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

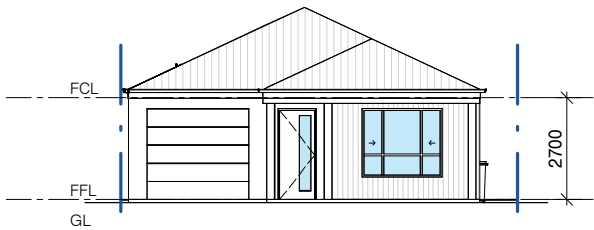
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

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For specifications regarding bins, see Waste Management Plan.

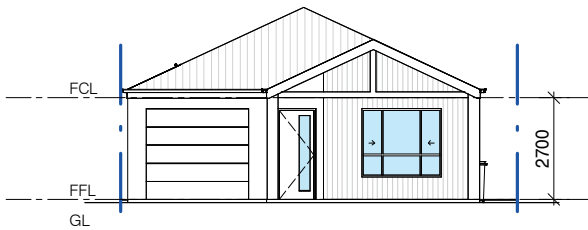
1 HOUSE TYPE 03 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



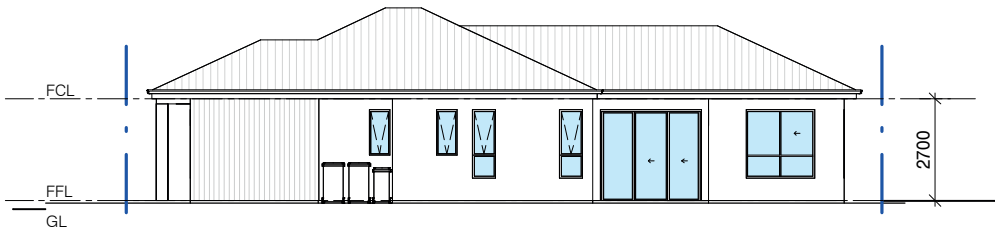
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



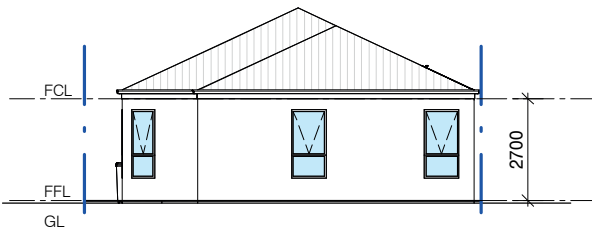
3 CONCEPT STREET ELEVATION - VINEYARD ARCH
SCALE: 1 : 200



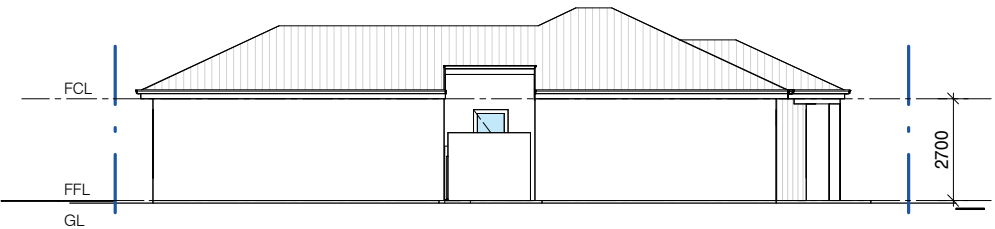
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



7 SIDE ELEVATION A_COUNTRY HIP
SCALE: 1 : 200



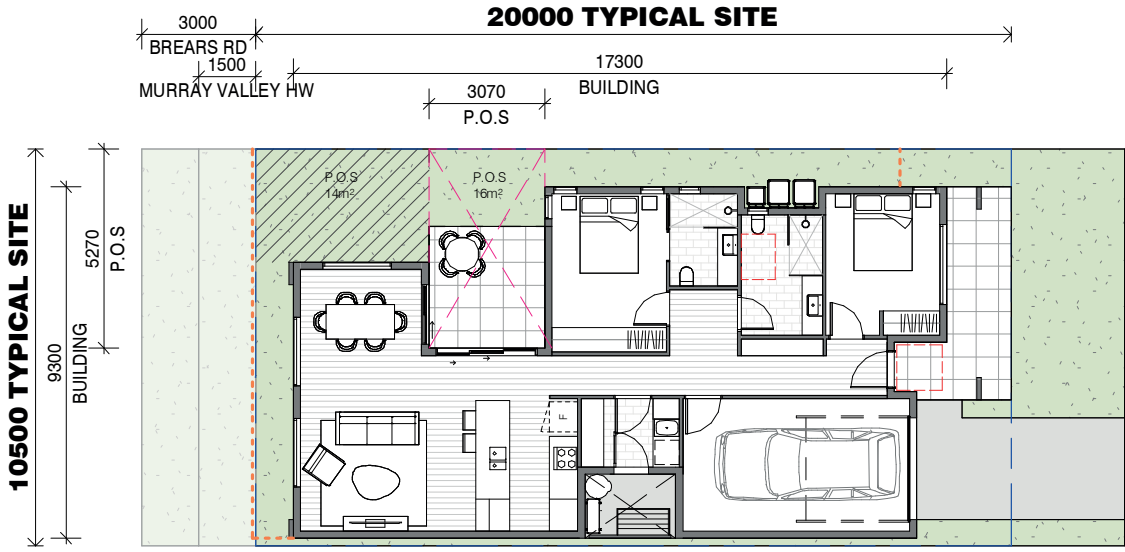
8 REAR ELEVATION_COUNTRY HIP
SCALE: 1 : 200



9 SIDE ELEVATION B_COUNTRY HIP
SCALE: 1 : 200

HOUSE TYPE 3a - LLC Edge Condition

10.5M X 20M SITE



PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 16m²

OTHER PRIVATE OUTDOOR
SPACE = 14m²

**TOTAL PRIVATE OUTDOOR SPACE
(P.O.S) = 31m²**

INDICATIVE POSITION OF 1.8
METER HIGH FENCE

10m

1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 2 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	23m²
Internal	106m²
Outdoor (Patio, Verandah & Court, may be covered)	26m²
TOTAL	155m²

Roof area of Vineyard Arch (inc eaves & verandahs)	162m²
Typical internal site area	210m²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0 x 3.5mm.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

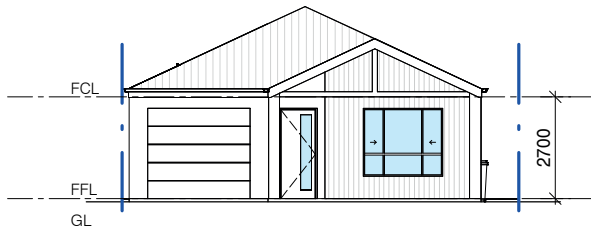
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.

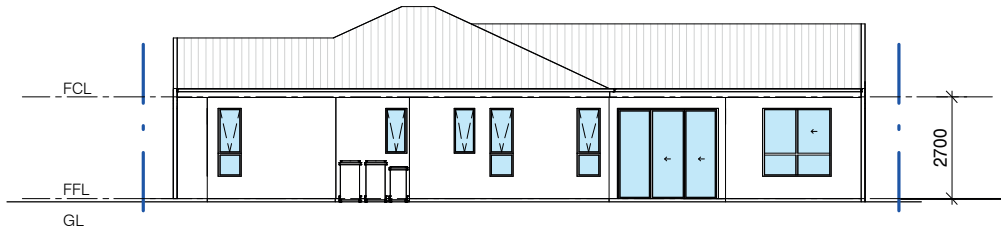
1 HOUSE TYPE 03 - GENERAL ARRANGEMENT PLAN DUAL
SCALE: 1 : 200



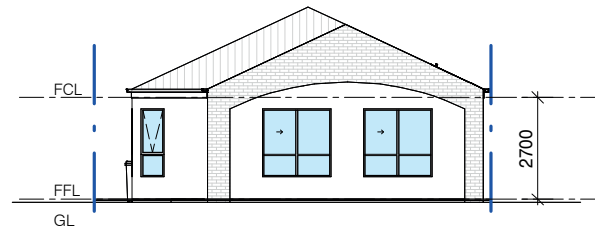
2 CONCEPT STREET ELEVATION - VINEYARD ARCH DUAL
SCALE: 1 : 200



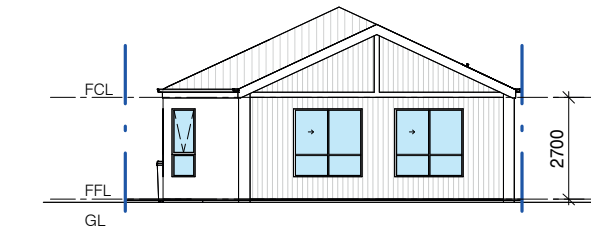
3 CONCEPT STREET ELEVATION - COUNTRY GABLE DUAL
SCALE: 1 : 200



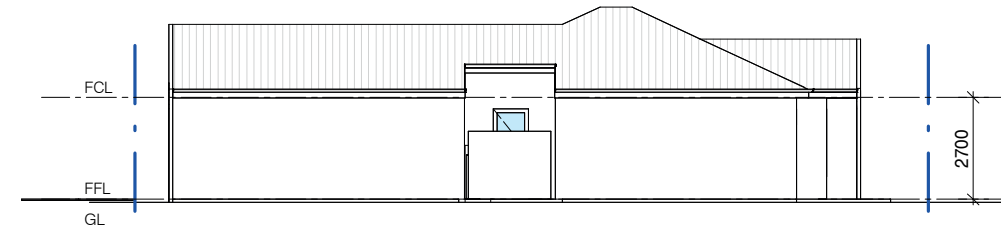
4 SIDE ELEVATION A - VINEYARD ARCH DUAL
SCALE: 1 : 200



5 REAR ELEVATION - VINEYARD ARCH DUAL
SCALE: 1 : 200



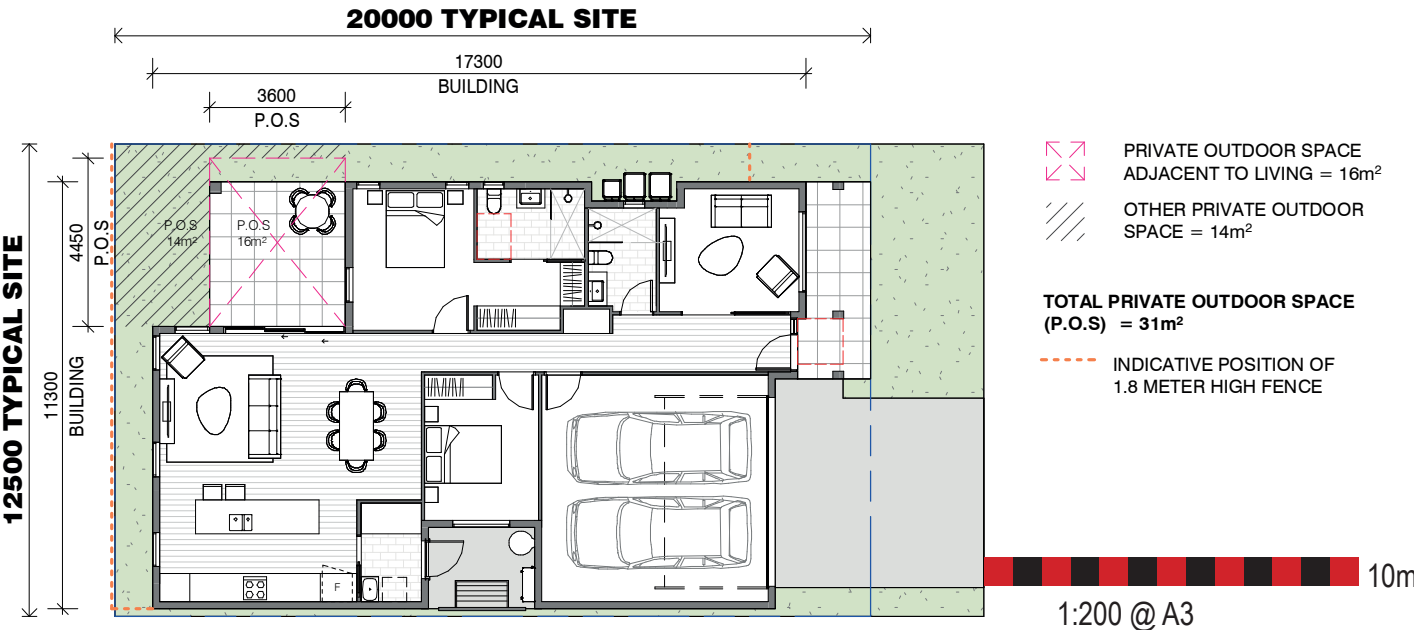
6 REAR ELEVATION - COUNTRY GABLE DUAL
SCALE: 1 : 200



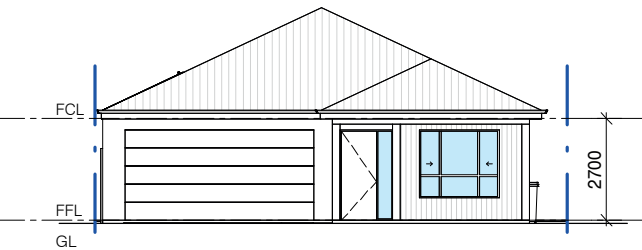
7 SIDE ELEVATION B - VINEYARD ARCH DUAL
SCALE: 1 : 200

HOUSE TYPE 4

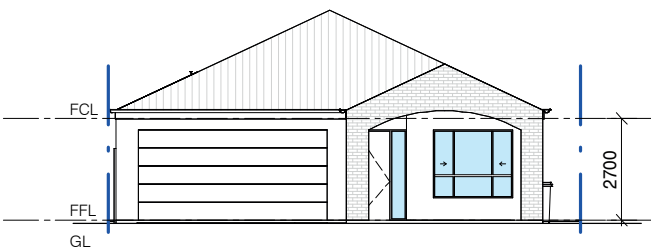
12.5M X 20M SITE



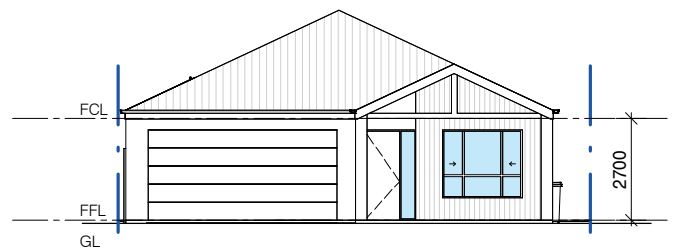
1 HOUSE TYPE 04 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



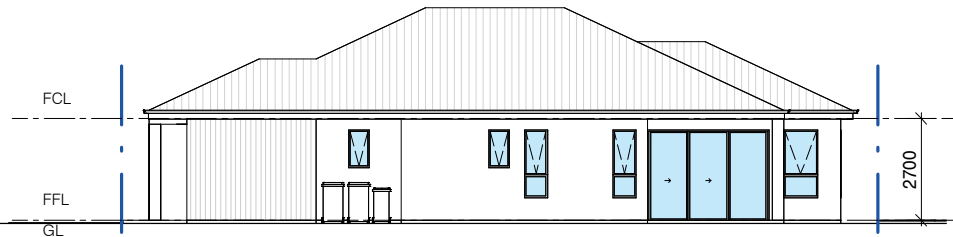
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



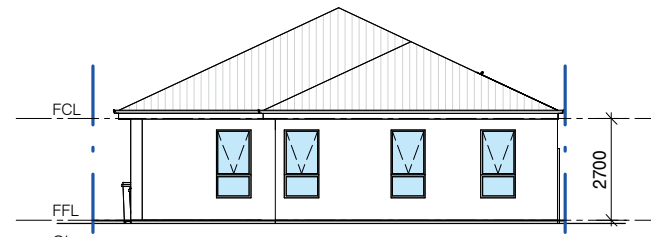
3 CONCEPT STREET ELEVATION - VINEYARD ARCH
SCALE: 1 : 200



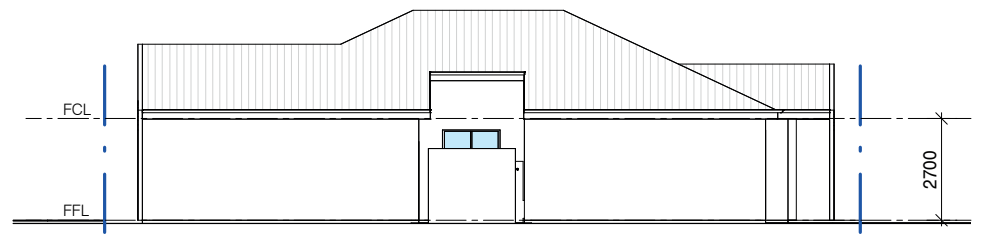
4 CONCEPT STREET ELEVATION_COUNTRY GABLES
SCALE: 1 : 200



7 SIDE ELEVATION A_COUNTRY HIP
SCALE: 1 : 200



8 REAR ELEVATION_COUNTRY HIP
SCALE: 1 : 200



9 SIDE ELEVATION B_COUNTRY HIP
SCALE: 1 : 200

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 2 Bed
- 1 MPR
- 2 Bath

APPROX AREA SUMMARY

Garage	39m²
Internal	124m²
Outdoor (Patio, Verandah, may be covered)	29m²
TOTAL	192m²

Roof area of Hip (including eaves & verandahs)	212m²
Typical internal site area	250m²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

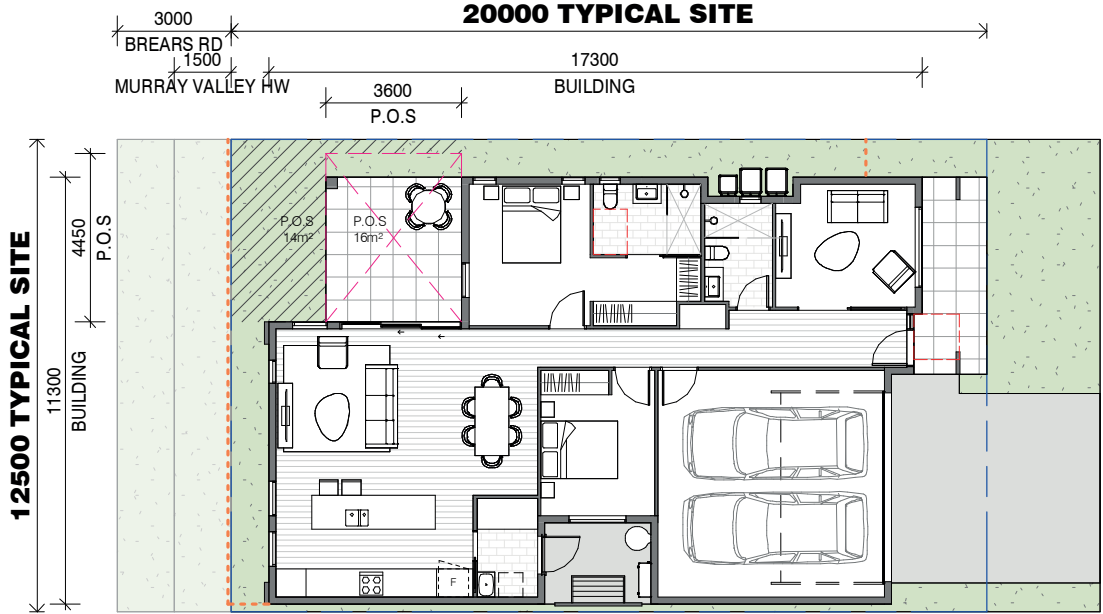
NOTE:

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For specifications regarding bins, see Waste Management Plan.

HOUSE TYPE 4a - LLC Edge Condition

12.5M X 20M SITE



- PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m²
- OTHER PRIVATE OUTDOOR SPACE = 14m²

TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 31m²

INDICATIVE POSITION OF 1.8 METER HIGH FENCE



1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 2 Bed
- 1 MPR
- 2 Bath

APPROX AREA SUMMARY

Garage	39m²
Internal	124m²
Outdoor (Patio, Verandah, may be covered)	29m²
TOTAL	192m²

Roof area of Vineyard Arch (inc eaves & verandahs) 208m²
Typical internal site area 250m²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

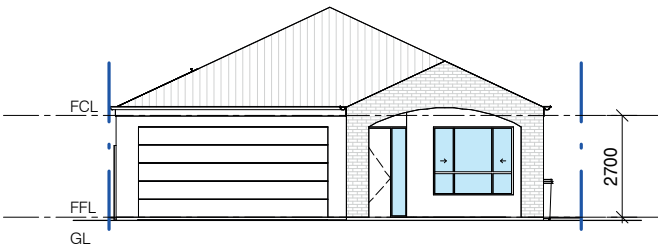
NOTE:

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For specifications regarding bins, see Waste Management Plan.

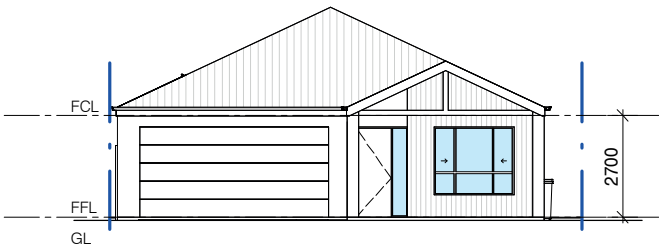
HOUSE TYPE 04 - GENERAL ARRANGEMENT PLAN DUAL

SCALE: 1 : 200



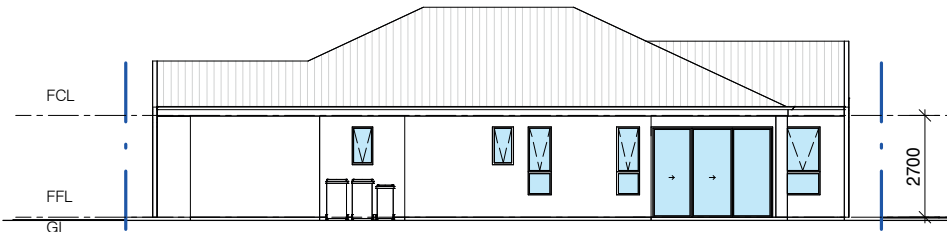
CONCEPT STREET ELEVATION - VINEYARD ARCH DUAL

SCALE: 1 : 200



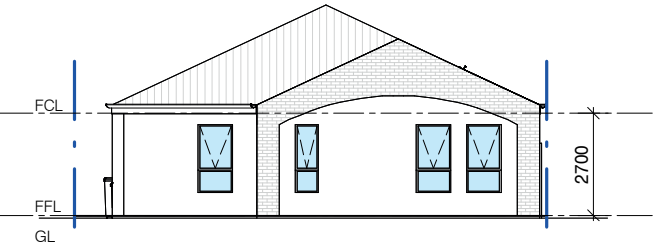
CONCEPT STREET ELEVATION - COUNTRY GABLE DUAL

SCALE: 1 : 200



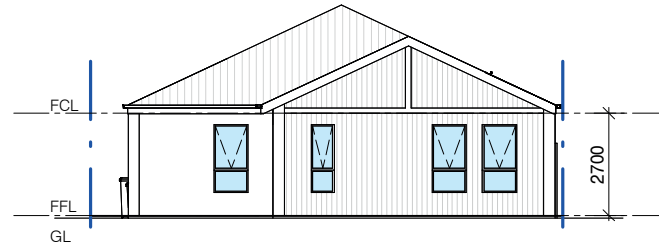
SIDE ELEVATION A_DUAL

SCALE: 1 : 200



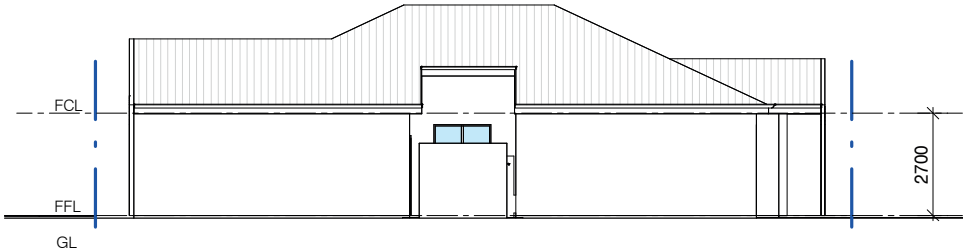
REAR ELEVATION - VINEYARD ARCH_DUAL

SCALE: 1 : 200



REAR ELEVATION - COUNTRY GABLE_DUAL

SCALE: 1 : 200

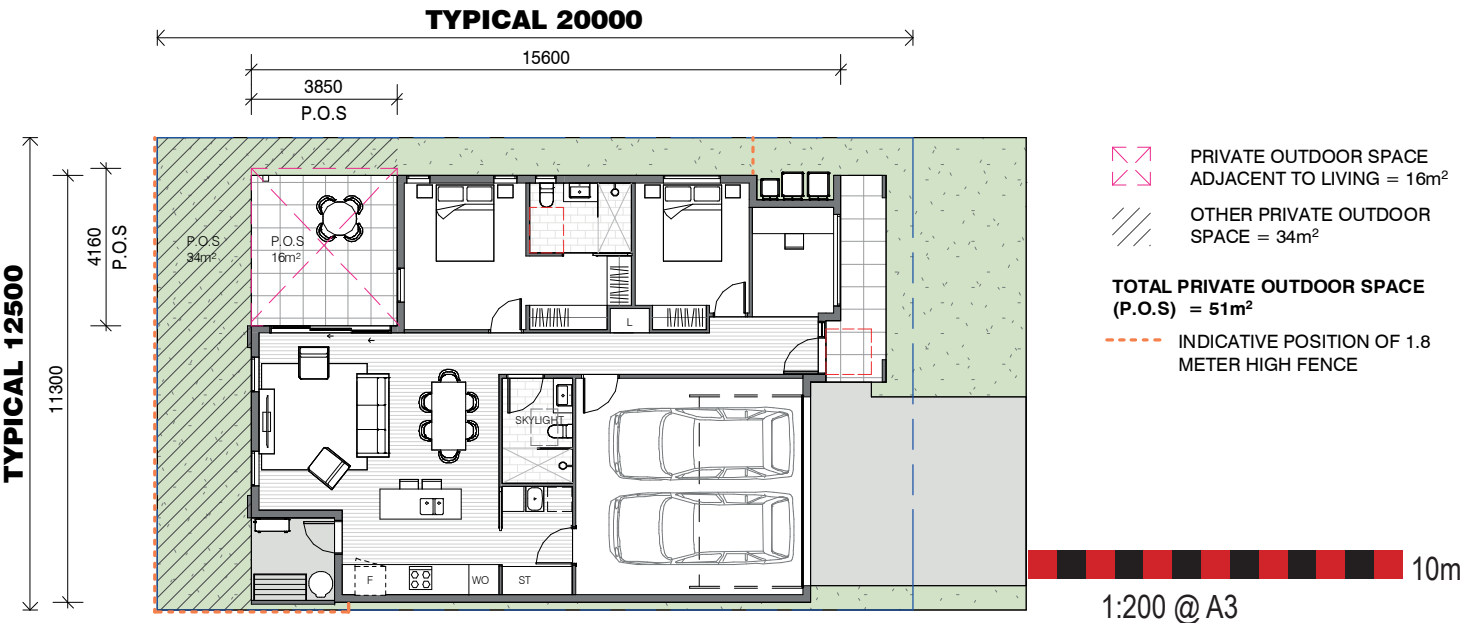


SIDE ELEVATION B_DUAL

SCALE: 1 : 200

HOUSE TYPE 5

12.5M X 20M SITE



1 HOUSE TYPE 5 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 2 Bed
- 1 Study
- 2 Bath

APPROX AREA SUMMARY

Garage	37m ²
Internal	112m ²
Outdoor (Patio, Verandah & Court may be covered)	32m ²
TOTAL	181m²

Roof area of Hip (including eaves & verandahs)	203m ²
Typical internal site area	250m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

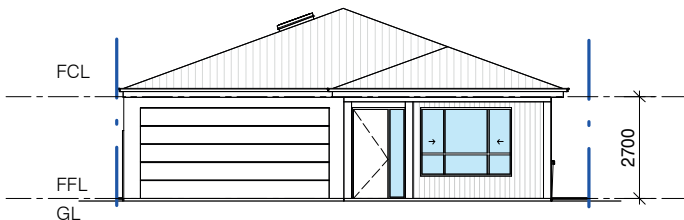
May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

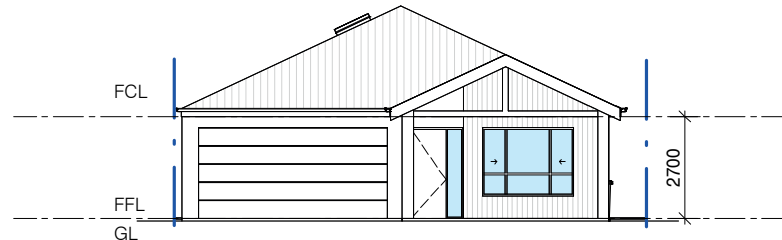
For specifications regarding bins, see Waste Management Plan.



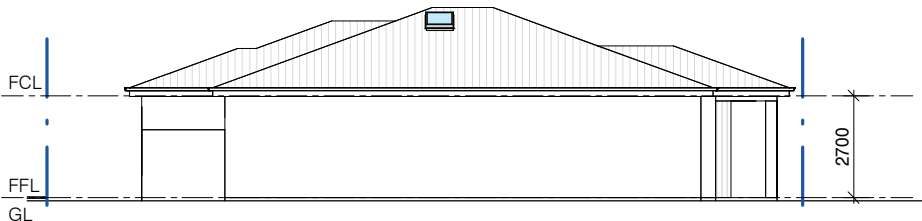
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



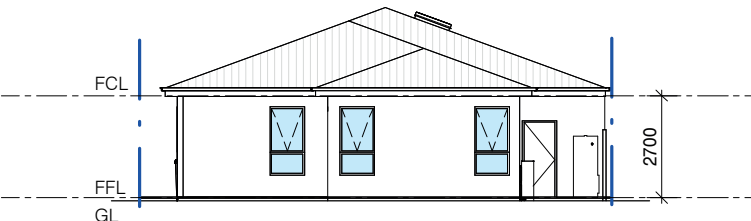
3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



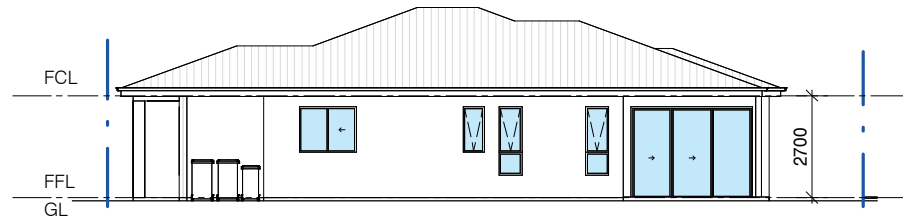
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_COUNTRY HIP
SCALE: 1 : 200



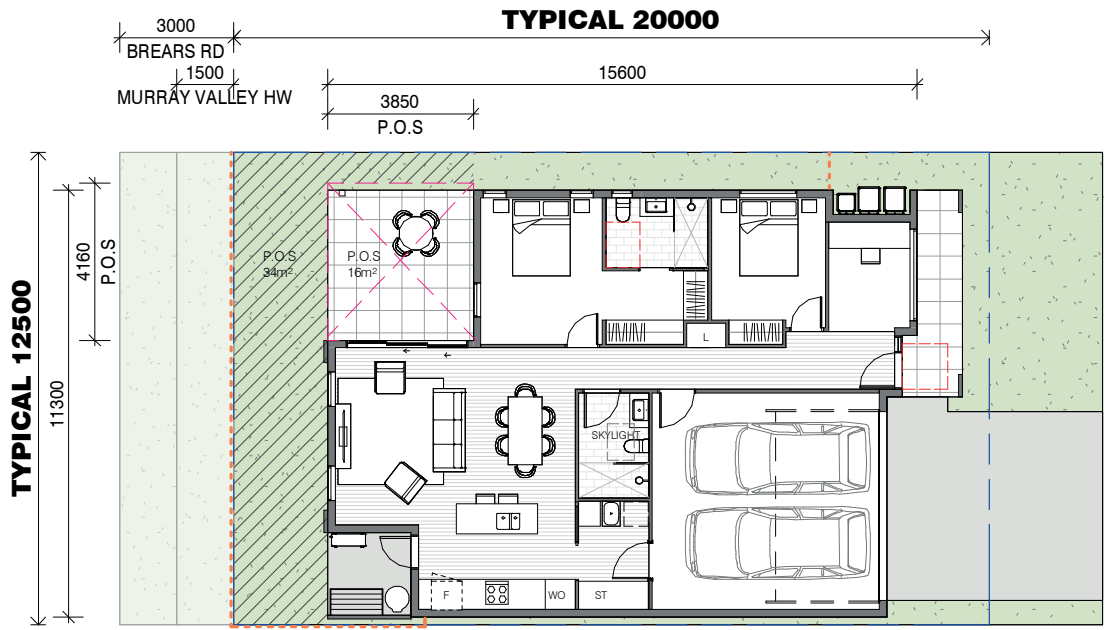
6 REAR ELEVATION_COUNTRY HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_COUNTRY HIP
SCALE: 1 : 200

HOUSE TYPE 5a - LLC Edge Condition

12.5M X 20M SITE



PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 16m²

OTHER PRIVATE OUTDOOR
SPACE = 34m²

**TOTAL PRIVATE OUTDOOR SPACE
(P.O.S) = 51m²**

INDICATIVE POSITION OF 1.8
METER HIGH FENCE



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 2 Bed
- 1 Study
- 2 Bath

APPROX AREA SUMMARY

Garage	37m²
Internal	112m²
Outdoor (Patio, Verandah & Court may be covered)	32m²
TOTAL	181m²

Roof area of Vineyard Arch (inc eaves & verandahs)	194m²
Typical internal site area	250m²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

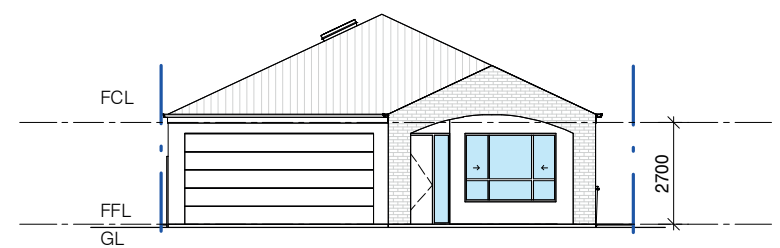
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

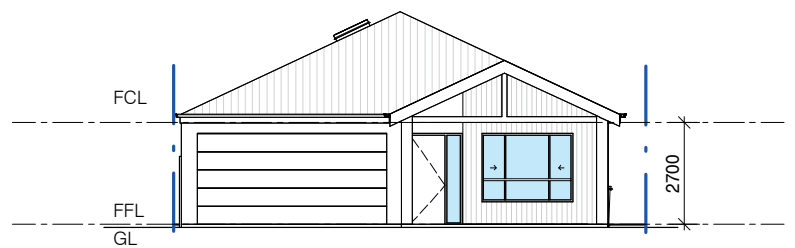
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.

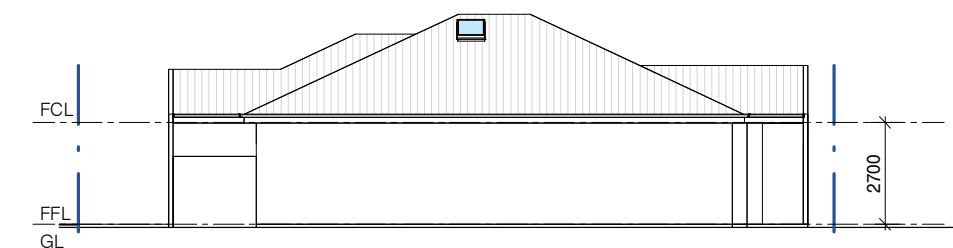
1 HOUSE TYPE 5 - GENERAL ARRANGEMENT PLAN DUAL
SCALE: 1 : 200



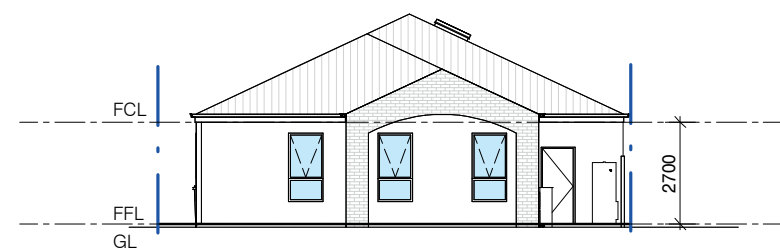
2 CONCEPT STREET ELEVATION_VINEYARD ARCH DUAL
SCALE: 1 : 200



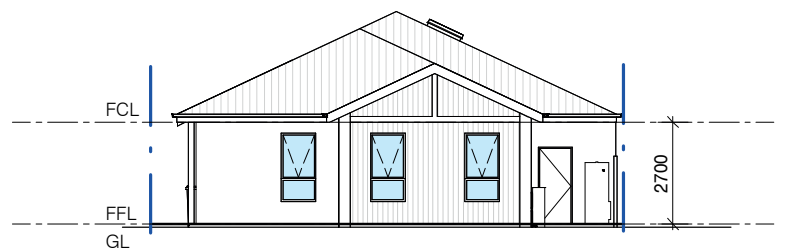
3 CONCEPT STREET ELEVATION_COUNTRY GABLE DUAL
SCALE: 1 : 200



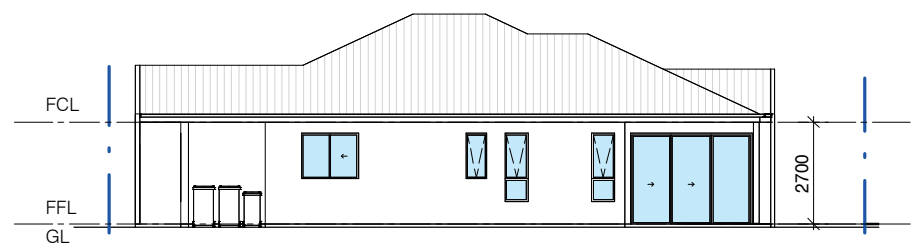
4 SIDE ELEVATION A_VINEYARD ARCH DUAL
SCALE: 1 : 200



5 REAR ELEVATION_VINEYARD ARCH_DUAL
SCALE: 1 : 200



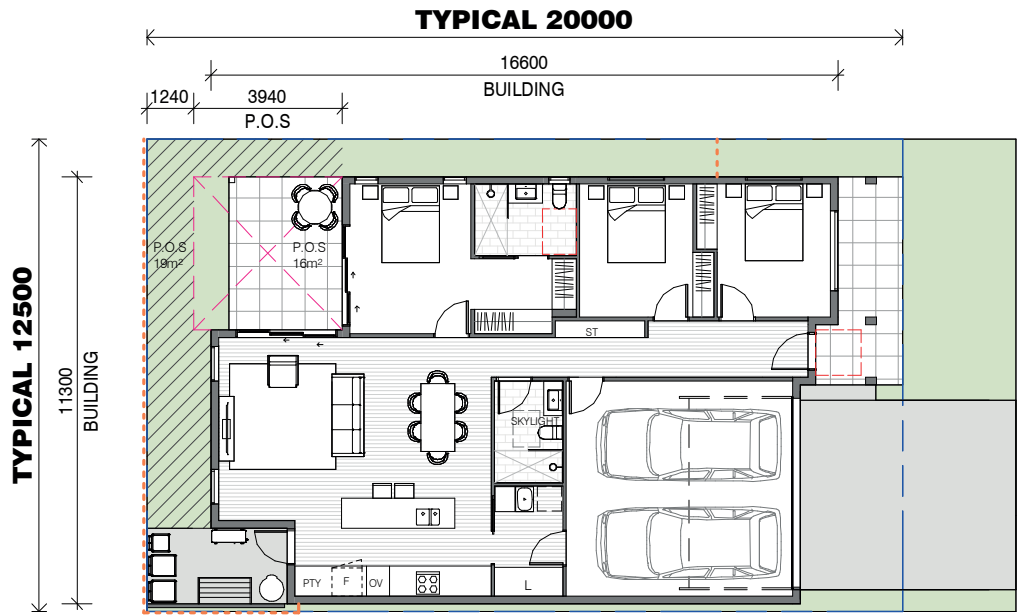
6 REAR ELEVATION_COUNTRY GABLE_DUAL
SCALE: 1 : 200



7 SIDE ELEVATION B_VINEYARD ARCH DUAL
SCALE: 1 : 200

HOUSE TYPE 6

12.5M X 20M SITE



PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 16m²

OTHER PRIVATE OUTDOOR
SPACE = 19m²

TOTAL PRIVATE OUTDOOR
SPACE (P.O.S) = 35m²

INDICATIVE POSITION OF
1.8 METER HIGH FENCE

10m

1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m ²
Internal	128m ²
Outdoor (Patio, Verandah & Court, may be covered)	28m ²
TOTAL	193m²

Roof area of Hip (including eaves & verandahs)	211m ²
Typical internal site area	250m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

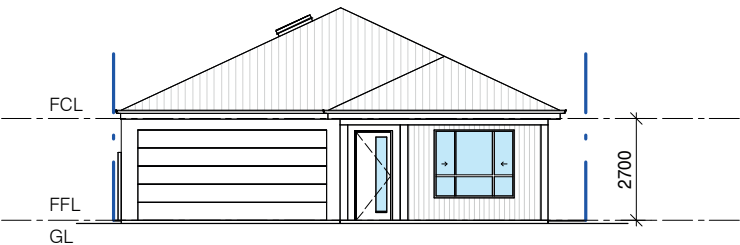
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

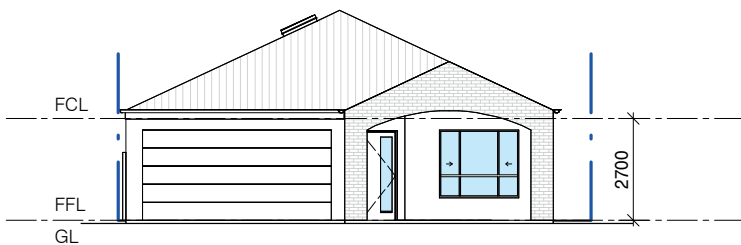
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For specifications regarding bins, see Waste Management Plan.

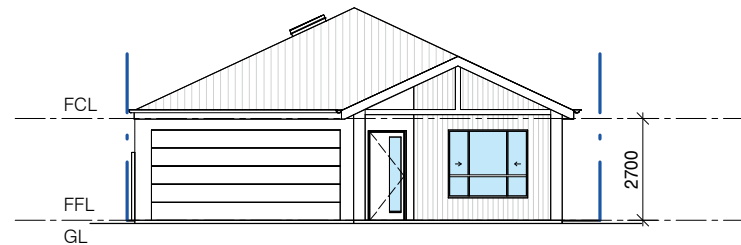
1 HOUSE TYPE 06 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



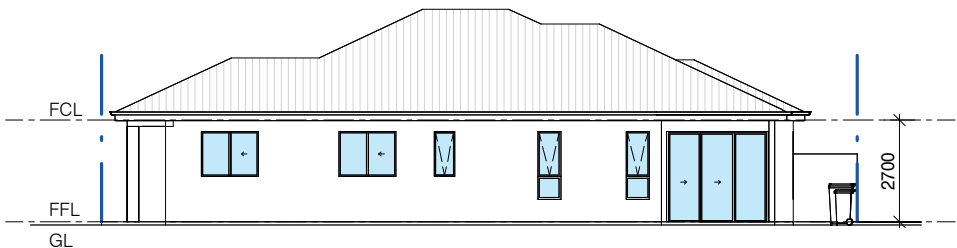
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



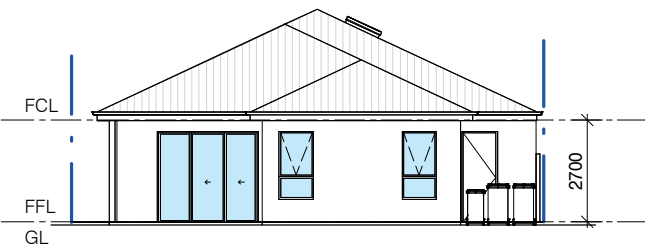
3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



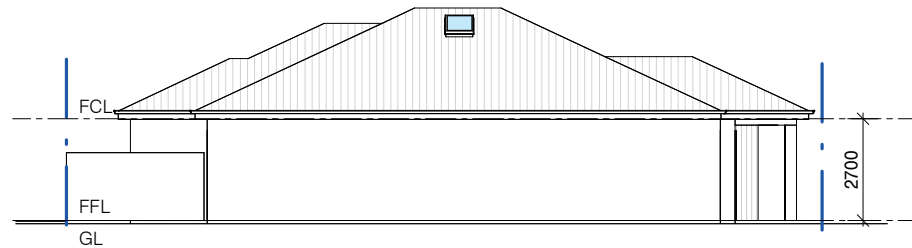
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_COUNTRY HIP
SCALE: 1 : 200



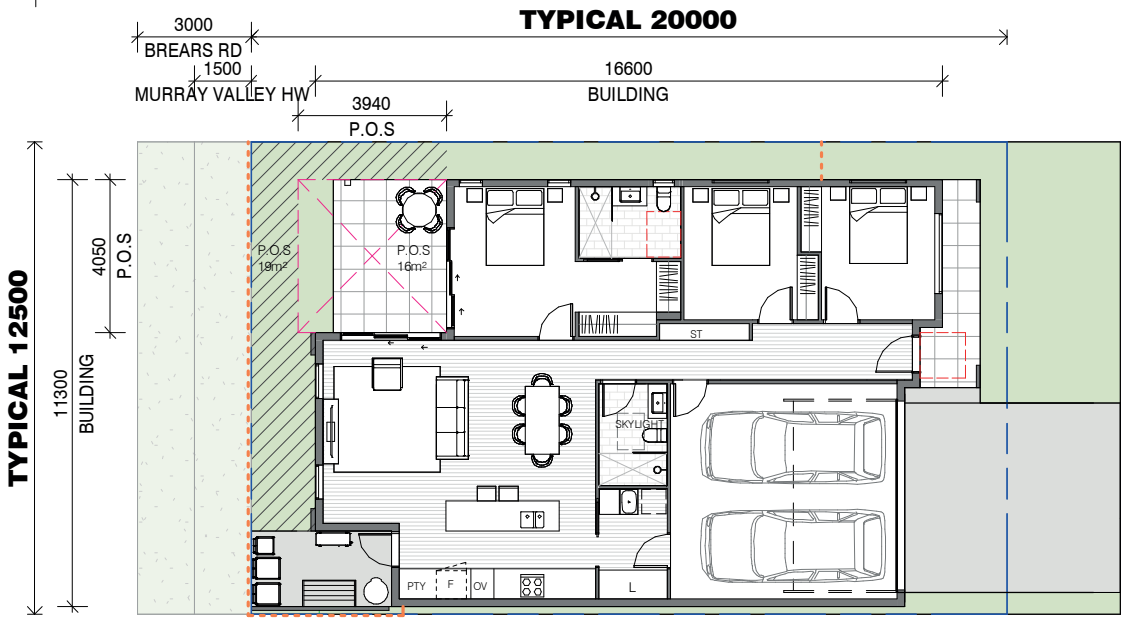
6 REAR ELEVATION_COUNTRY HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_COUNTRY HIP
SCALE: 1 : 200

HOUSE TYPE 6a - LLC Edge Condition

12.5M X 20M SITE



PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 16m²

OTHER PRIVATE OUTDOOR
SPACE = 19m²

**TOTAL PRIVATE OUTDOOR
SPACE (P.O.S) = 35m²**

INDICATIVE POSITION OF
1.8 METER HIGH FENCE

10m

1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m²
Internal	128m²
Outdoor (Patio, Verandah & Court, may be covered)	28m²
TOTAL	193m²

Roof area of Vineyard Arch (inc eaves & verandahs)	204m²
Typical internal site area	250m²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

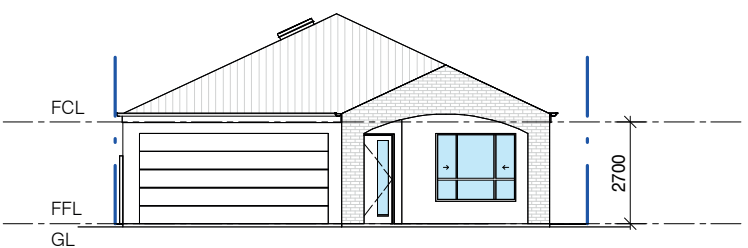
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

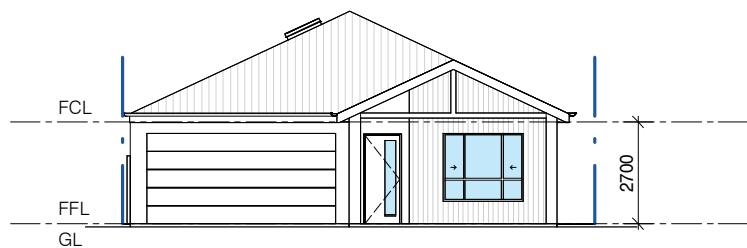
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.

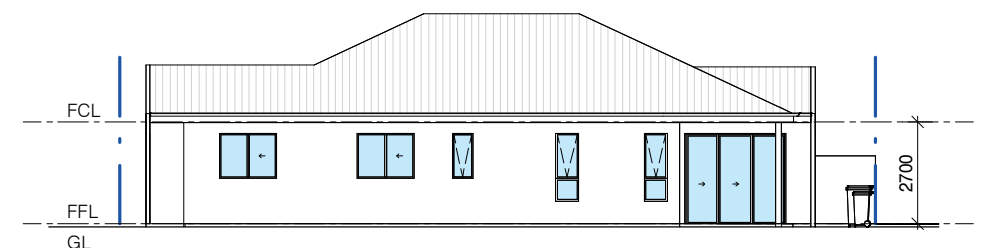
1 HOUSE TYPE 06 - GENERAL ARRANGEMENT PLAN DUAL
SCALE: 1 : 200



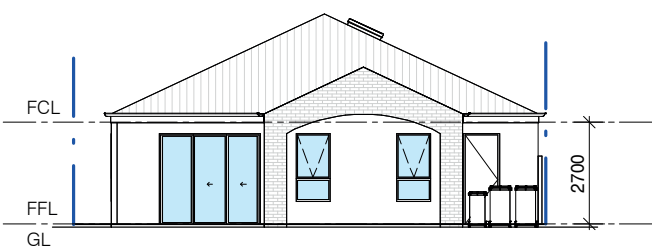
2 CONCEPT STREET ELEVATION_VINEYARD ARCH DUAL
SCALE: 1 : 200



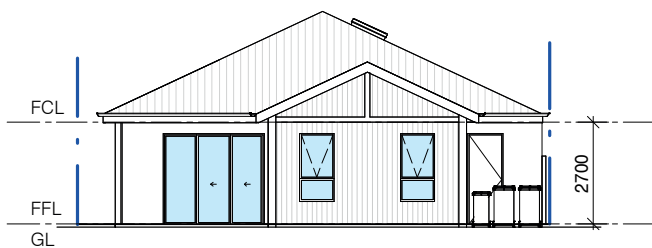
3 CONCEPT STREET ELEVATION_COUNTRY GABLE DUAL
SCALE: 1 : 200



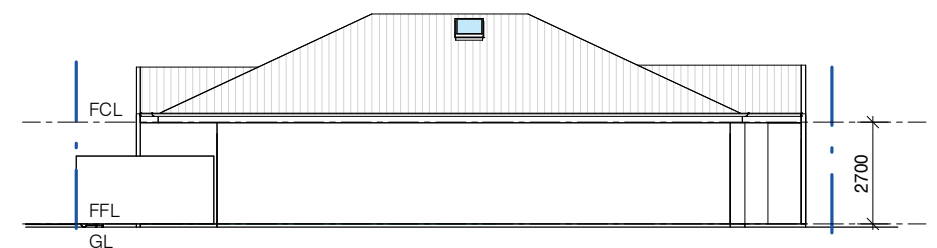
4 SIDE ELEVATION A_VINEYARD ARCH DUAL
SCALE: 1 : 200



5 REAR ELEVATION-VINEYARD ARCH_DUAL FRONTAGE
SCALE: 1 : 200



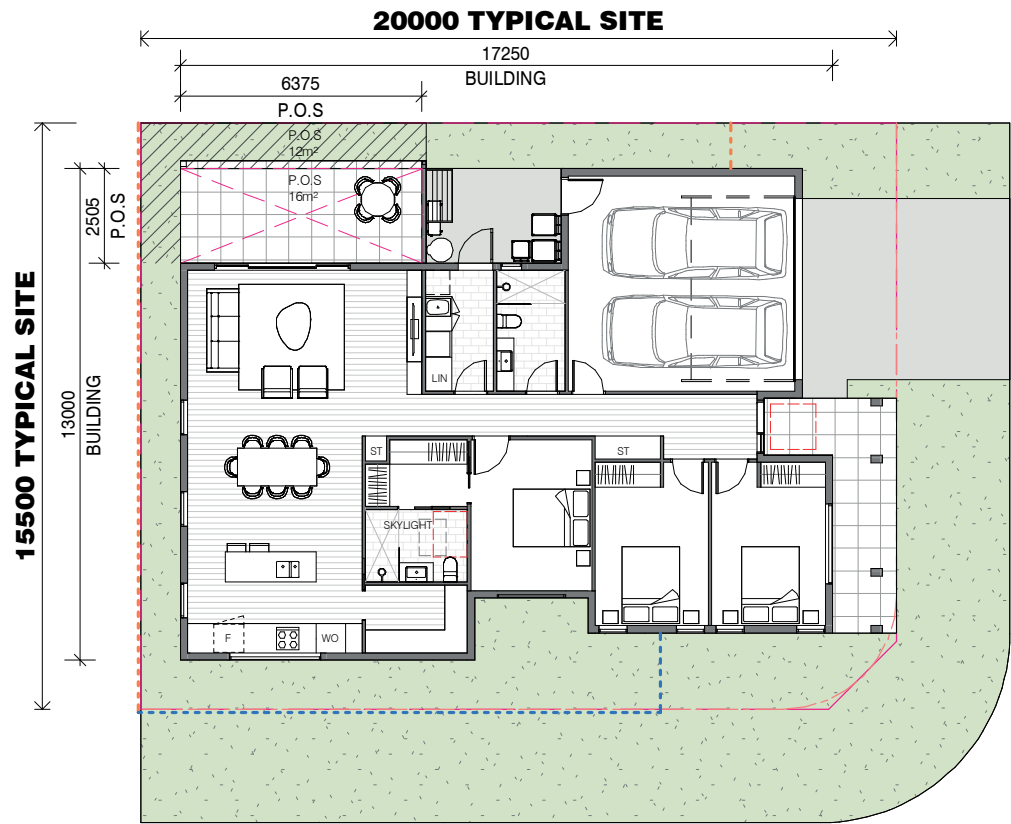
6 REAR ELEVATION_COUNTRY GABLE_DUAL FRONTAGE
SCALE: 1 : 200



7 SIDE ELEVATION B_VINEYARD ARCH DUAL
SCALE: 1 : 200

HOUSE TYPE 7

15.5M X 20M SITE



- PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m²
- OTHER PRIVATE OUTDOOR SPACE = 12m²

TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 28m²

FEATURE FENCE 1.5 METER HIGH.

INDICATIVE POSITION OF 1.8 METER HIGH FENCE

10m

1:200 @ A3

INDICATIVE CORNER SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m ²
Internal	144m ²
Outdoor (Patio, Verandah & Court may be covered)	40m ²
TOTAL	221m²

Roof area of Hip (including eaves & verandahs)	241m ²
Typical internal site area	308m ²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

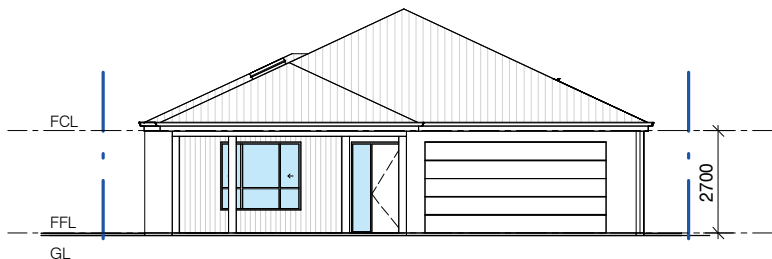
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

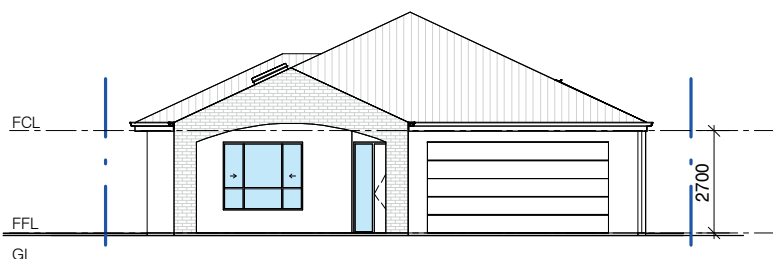
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.

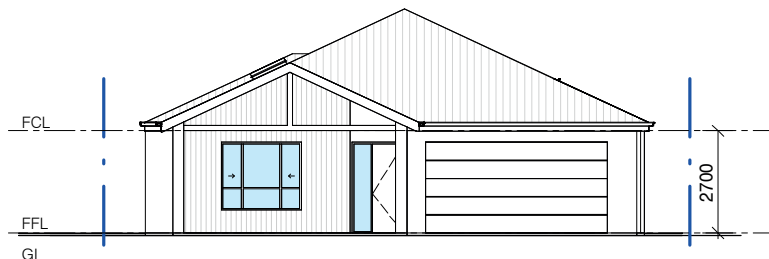
1 TYPE 07 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



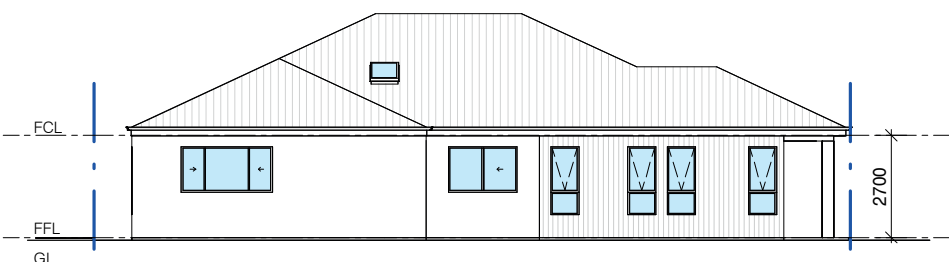
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



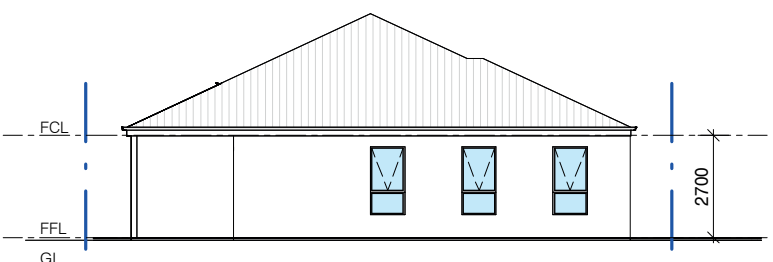
3 CONCEPT STREET ELEVATION - VINEYARD ARCH
SCALE: 1 : 200



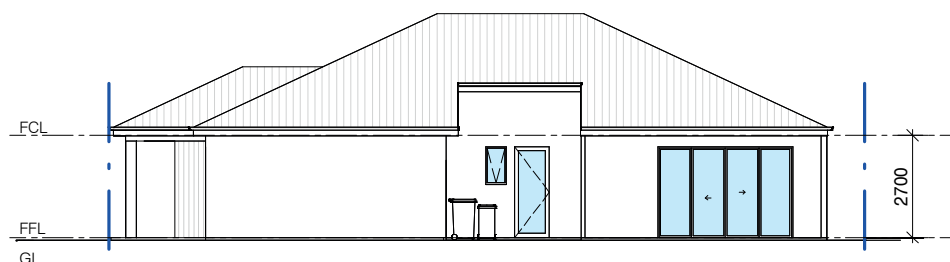
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_COUNTRY HIP
SCALE: 1 : 200



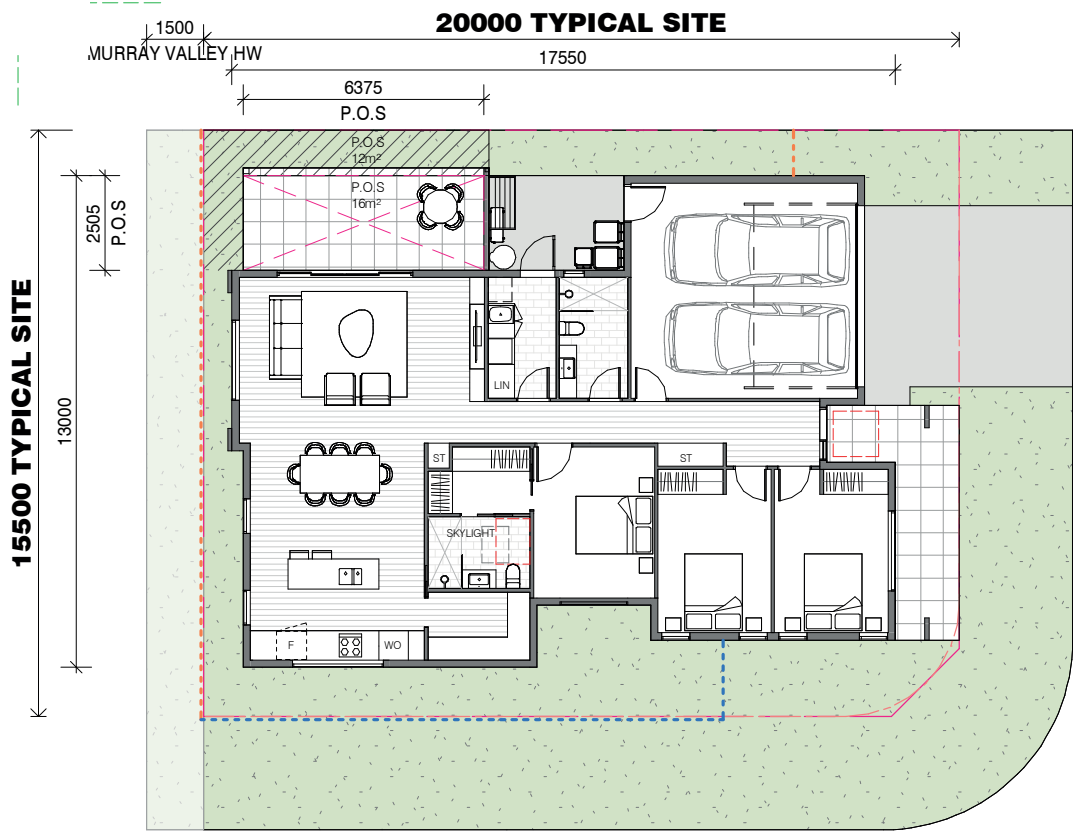
6 REAR ELEVATION_COUNTRY HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_COUNTRY HIP
SCALE: 1 : 200

HOUSE TYPE 7a - LLC Edge Condition

15.5M X 20M SITE



- PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m²
- OTHER PRIVATE OUTDOOR SPACE = 12m²

TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 28m²

FEATURE FENCE 1.5 METER HIGH.

INDICATIVE POSITION OF 1.8 METER HIGH FENCE

10m
1:200 @ A3

INDICATIVE CORNER SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m²
Internal	144m²
Outdoor (Patio, Verandah & Court may be covered)	40m²
TOTAL	221m²

Roof area of Vineyard Arch (inc eaves & verandahs)	238m²
Typical internal site area	308m²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

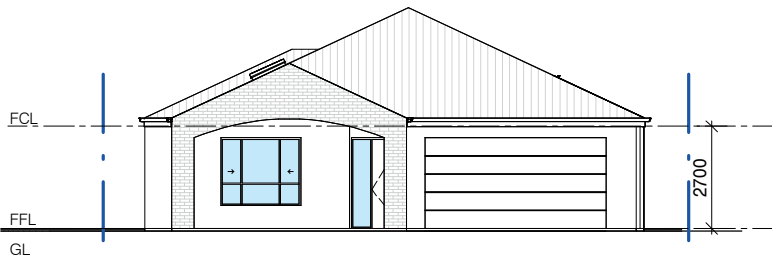
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

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For specifications regarding bins, see Waste Management Plan.

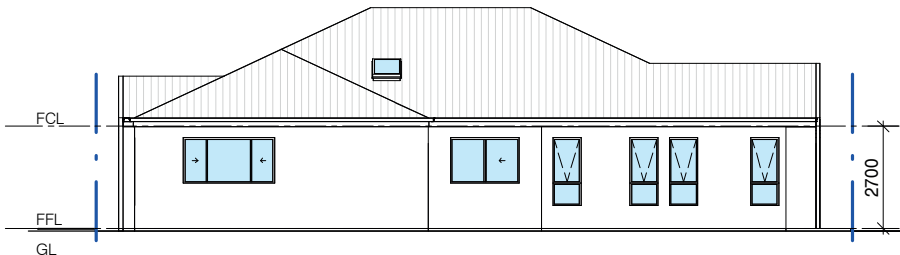
1 TYPE 07 - GENERAL ARRANGEMENT PLAN DUAL
SCALE: 1 : 200



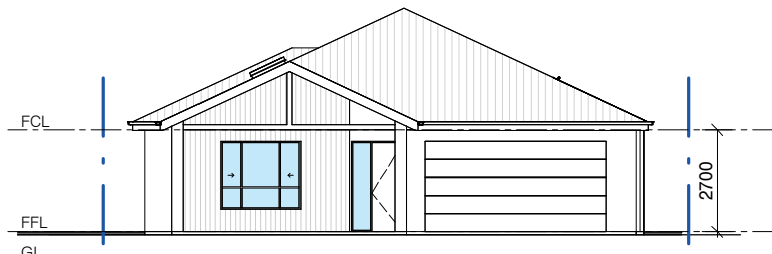
2 CONCEPT STREET ELEVATION - VINEYARD ARCH DUAL
SCALE: 1 : 200



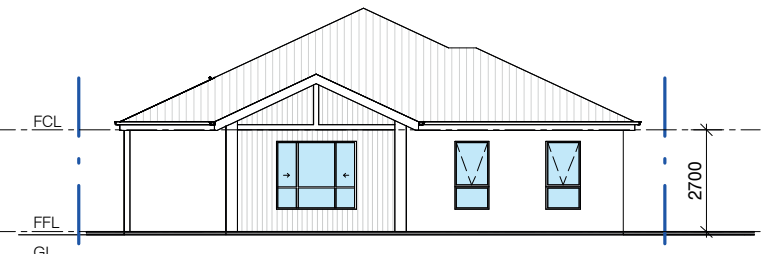
3 REAR ELEVATION - VINEYARD ARCH DUAL
SCALE: 1 : 200



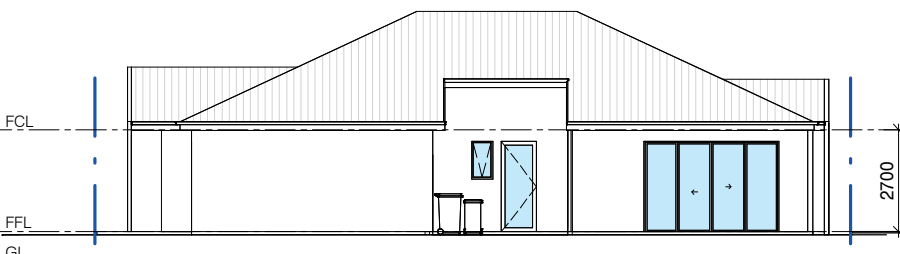
4 SIDE ELEVATION A - DUAL
SCALE: 1 : 200



5 CONCEPT STREET ELEVATION - COUNTRY GABLE DUAL
SCALE: 1 : 200



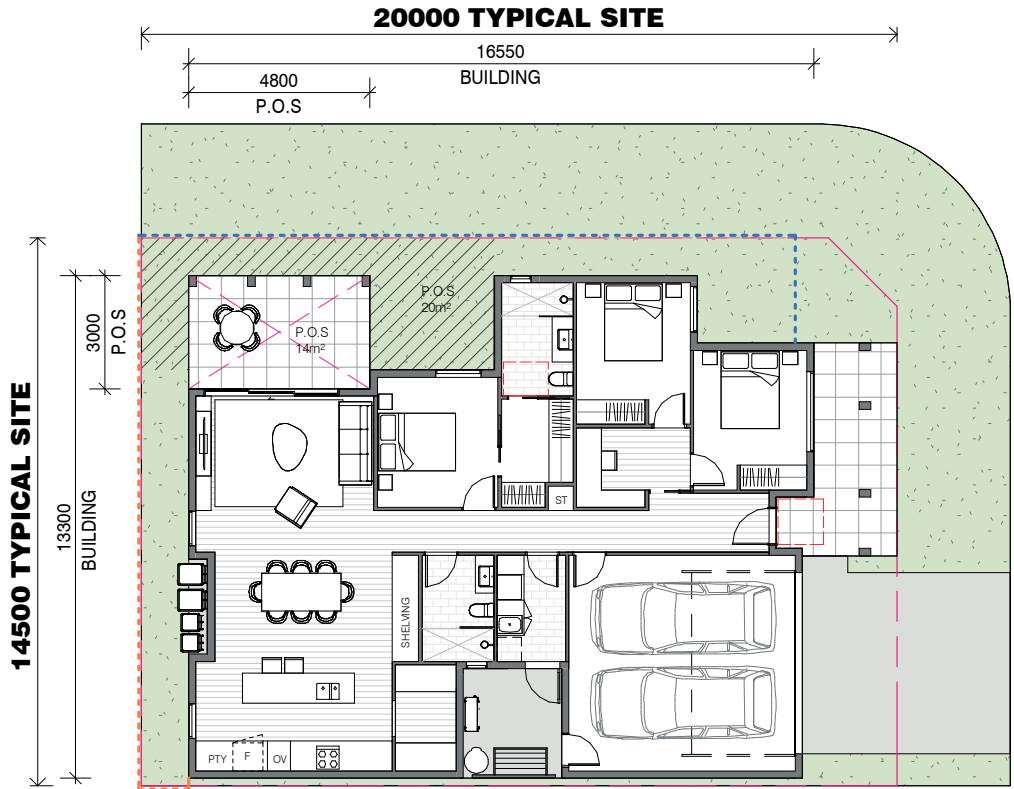
6 REAR ELEVATION - COUNTRY GABLE DUAL
SCALE: 1 : 200



7 SIDE ELEVATION B - DUAL
SCALE: 1 : 200

HOUSE TYPE 8

14.5M X 20M SITE



- PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 14m²
- OTHER PRIVATE OUTDOOR SPACE = 20m²

TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 34m²

- INDICATIVE POSITION OF 1.8 METER HIGH FENCE
- FEATURE FENCE 1.5 METER HIGH.

1:200 @ A3

INDICATIVE CORNER SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m²
Internal	146m²
Outdoor (Patio, Verandah & Court may be covered)	36m²
TOTAL	219m²

Roof area of Hip (including eaves & verandahs)	243m²
Typical internal site area	288m²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments..

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

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1 HOUSE TYPE 08 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



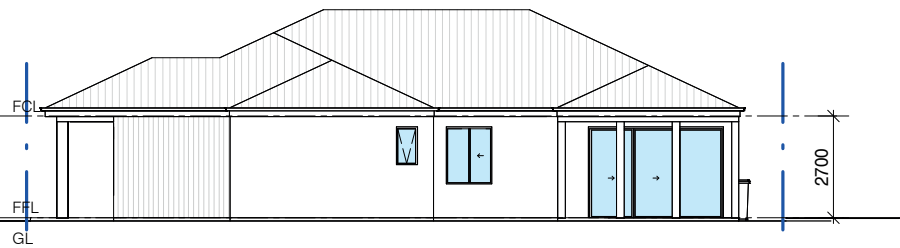
2 CONCEPT STREET ELEVATION_COUNTRY HIP
SCALE: 1 : 200



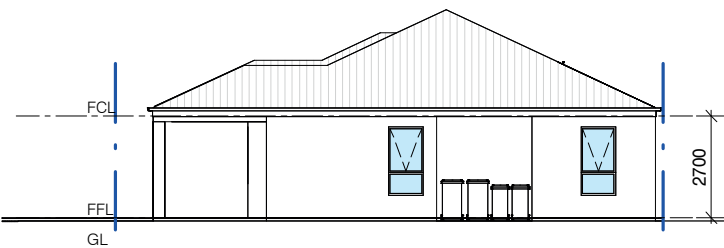
3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



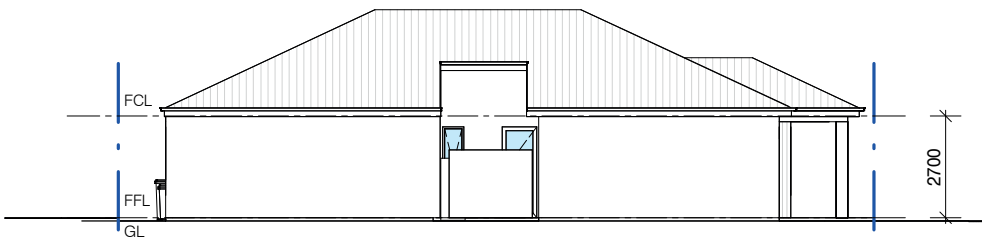
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE STREET ELEVATION A_COUNTRY HIP



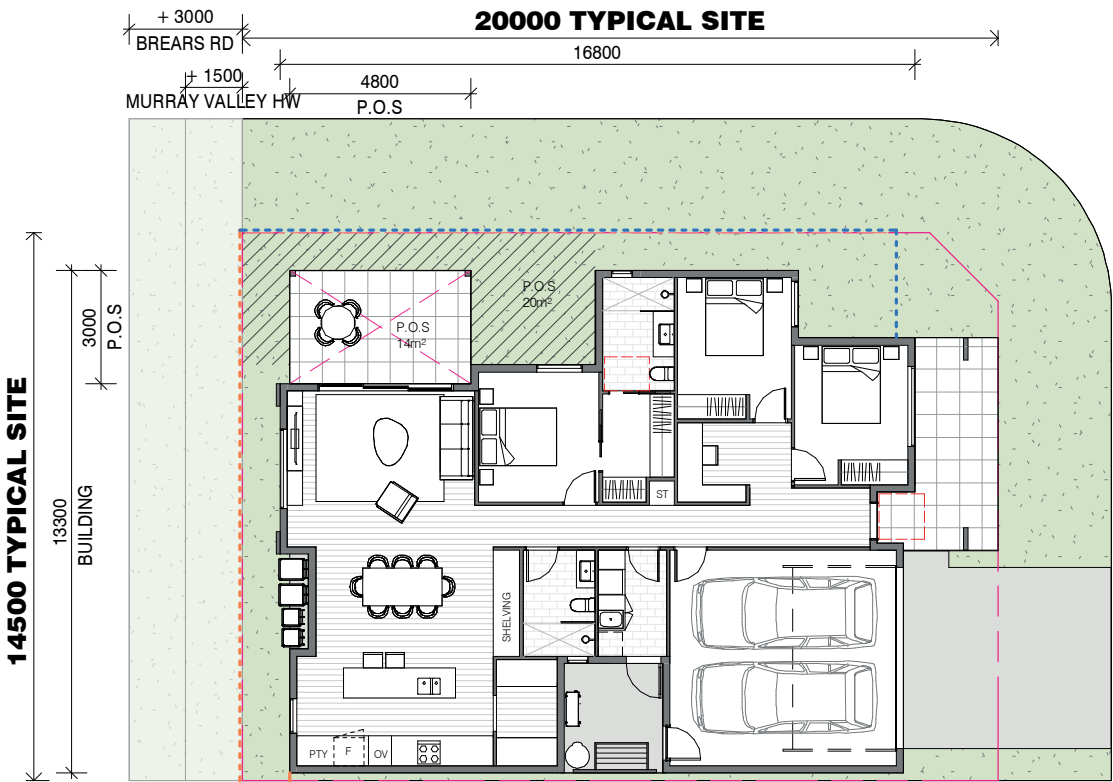
6 REAR ELEVATION_COUNTRY HIP



7 SIDE ELEVATION B_COUNTRY HIP

HOUSE TYPE 8a - LLC Edge Condition

14.5M X 20M SITE



- PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 14m²
- OTHER PRIVATE OUTDOOR SPACE = 20m²

TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 34m²

INDICATIVE POSITION OF 1.8 METER HIGH FENCE

FEATURE FENCE 1.5 METER HIGH.

10m

1:200 @ A3

INDICATIVE CORNER SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m²
Internal	146m²
Outdoor (Patio, Verandah & Court may be covered)	36m²
TOTAL	219m²

Roof area of Vineyard Arch (inc.eaves & verandahs)	231m²
Typical internal site area	288m²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments..

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

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1 HOUSE TYPE 08 - GENERAL ARRANGEMENT PLAN DUAL

SCALE: 1 : 200



2 CONCEPT STREET ELEVATION_COUNTRY GABLE DUAL

SCALE: 1 : 200



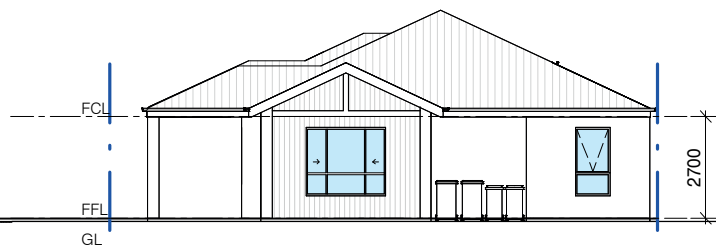
5 CONCEPT STREET ELEVATION_VINEYARD ARCH DUAL

SCALE: 1 : 200



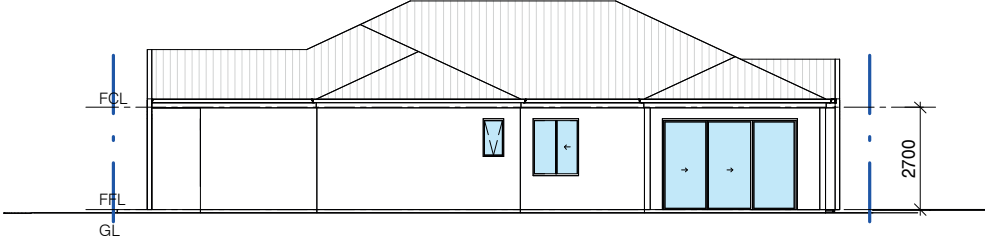
3 REAR ELEVATION_VINEYARD ARCH DUAL

SCALE: 1 : 200



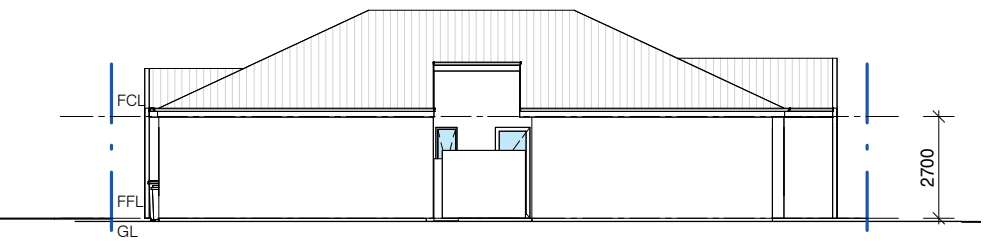
6 REAR ELEVATION_COUNTRY GABLE DUAL

SCALE: 1 : 200



4 SIDE ELEVATION_A DUAL

SCALE: 1 : 200

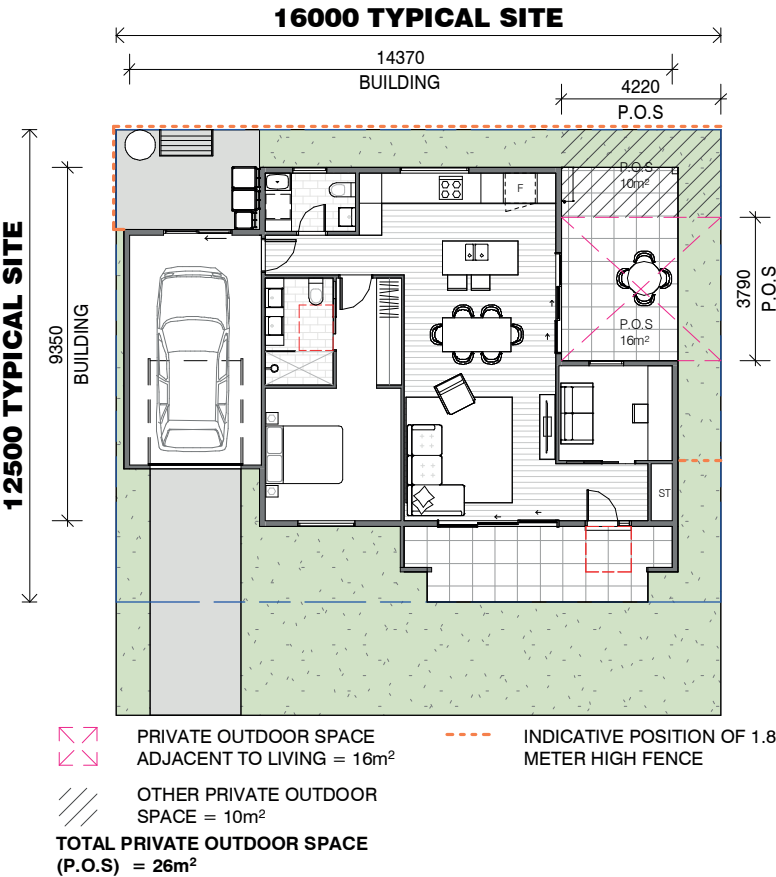


7 SIDE ELEVATION_B DUAL

SCALE: 1 : 200

HOUSE TYPE 9

16M X 10M SITE



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 1 Bed
- 1 MPR
- 1.5 Bath

APPROX AREA SUMMARY

Garage	23 m ²
Internal	89m ²
Outdoor (Patio, Verandah & Court, may be covered)	35 m ²
TOTAL	147m²
Roof area (including eaves & verandahs)	155m ²
Typical internal site area	200m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

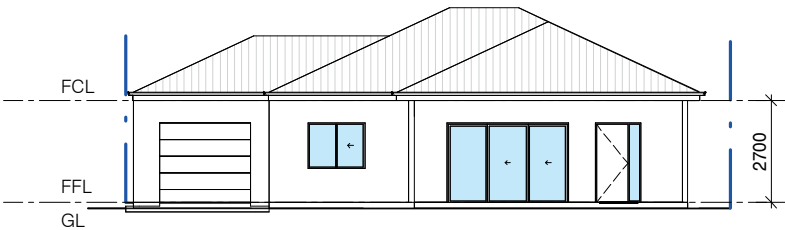
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For specifications regarding bins, see Waste Management Plan.



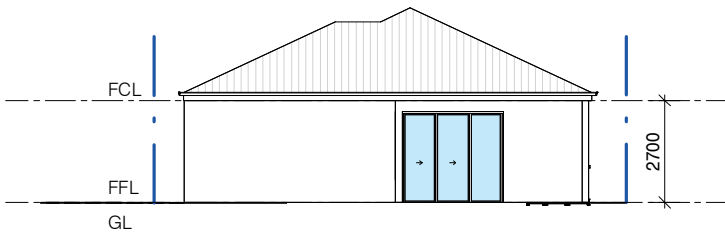
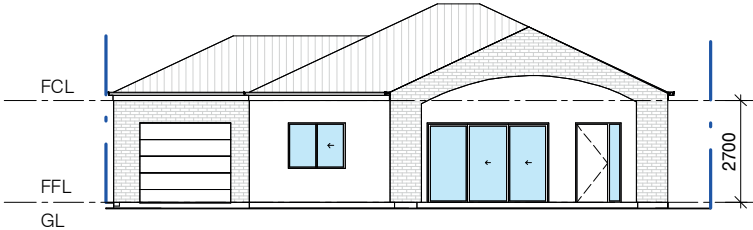
1:200 @ A3

1 HOUSE TYPE 09 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200

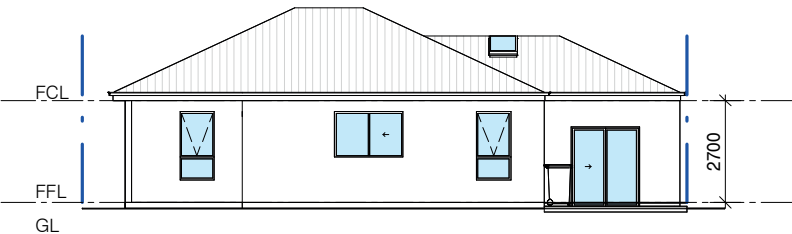


2 CONCEPT STREET ELEVATION - HIP
SCALE: 1 : 200

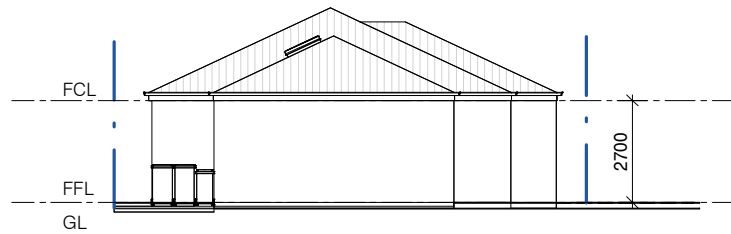
3 CONCEPT STREET ELEVATION - VINEYARD ARCH
SCALE: 1 : 200



4 SIDE ELEVATION A- HIP
SCALE: 1 : 200



5 REAR ELEVATION - HIP
SCALE: 1 : 200



6 SIDE ELEVATION B - HIP
SCALE: 1 : 200

HOUSE TYPE 10

SITE 103



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	39m²
Internal	130m²
Outdoor (Patio, Verandah & Court may be covered)	32m²
TOTAL	201m²

Roof area (including eaves & verandahs)	234m²
Typical internal site area	412m²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is minimum 5.5 x 6.0m

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

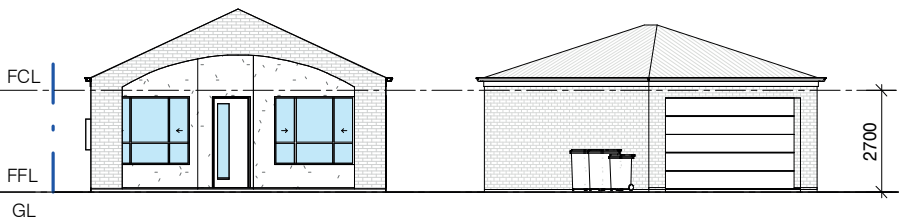
May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

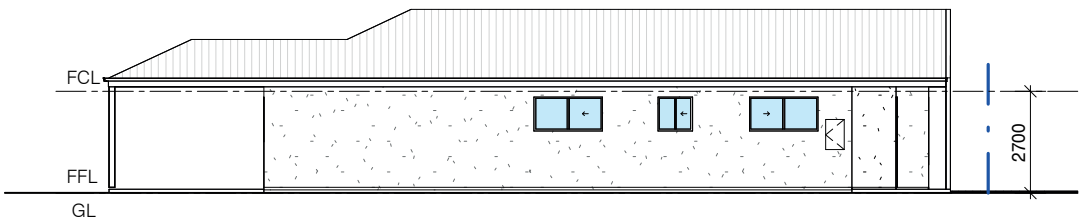
NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan. All Houses to have 3000 Litre water tank.

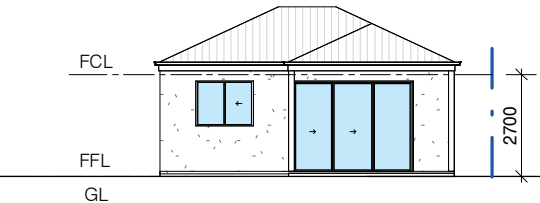
1 TYPE 10 SITE 103 - FLOOR PLAN
SCALE: 1 : 200



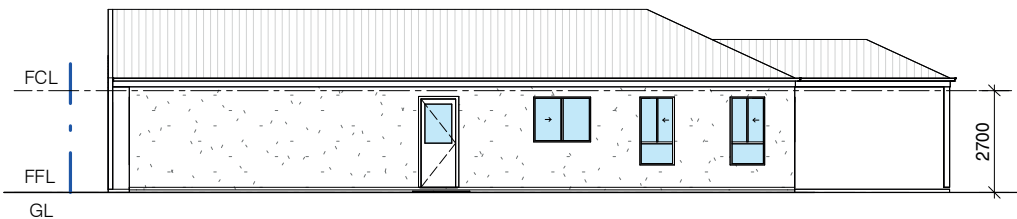
2 SITE 103 - STREET ELEVATION
SCALE: 1 : 200



3 SITE 103 - SIDE ELEVATION A
SCALE: 1 : 200



4 SITE 103 - REAR ELEVATION
SCALE: 1 : 200



5 SITE 103 - SIDE ELEVATION B
SCALE: 1 : 200

HOUSE TYPE 10

SITE 106



PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 18m²
OTHER PRIVATE OUTDOOR
SPACE = 30m²

TOTAL PRIVATE OUTDOOR SPACE
(P.O.S) = 48m²

INDICATIVE POSITION OF 1.8
METER HIGH FENCE

10m
1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	39m ²
Internal	130m ²
Outdoor (Patio, Verandah & Court may be covered)	32m ²
TOTAL	201m²

Roof area (including eaves & verandahs)	234m ²
Typical internal site area	412m ²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is minimum 5.5 x 6.0m

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

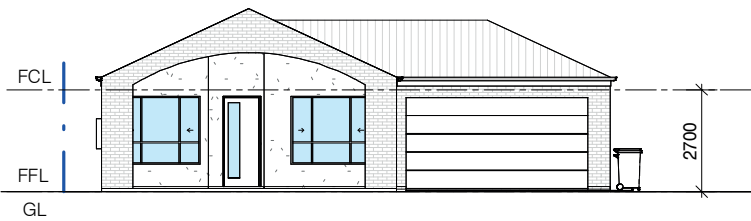
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan. All Houses to have 3000 Litre water tank.

1 TYPE 10_SITE 106 - FLOOR PLAN

SCALE: 1 : 200

2 SITE 106 - STREET ELEVATION

SCALE: 1 : 200



3 SITE 106 - SIDE ELEVATION A

SCALE: 1 : 200

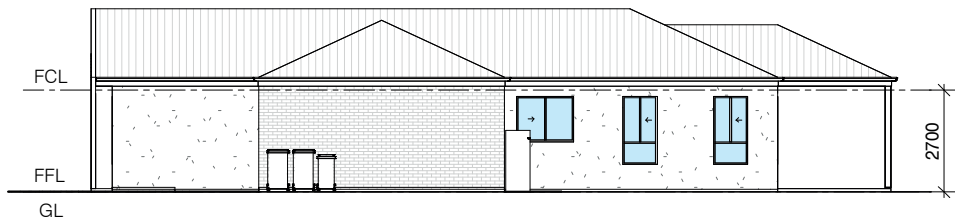
4 SITE 106 - REAR ELEVATION

SCALE: 1 : 200



5 SITE 106 - SIDE ELEVATION B

SCALE: 1 : 200



HOUSE TYPE 10

SITE 110



TYPE 10 SITE 110 - FLOOR PLAN

SCALE: 1 : 200

- PRIVATE OUTDOOR SPACE
ADJACENT TO LIVING = 18m²
- OTHER PRIVATE OUTDOOR
SPACE = 36m²

TOTAL PRIVATE OUTDOOR SPACE
(P.O.S) = 54m²

INDICATIVE POSITION OF 1.8
METER HIGH FENCE

10m

1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	39m²
Internal	130m²
Outdoor (Patio, Verandah & Court may be covered)	32m²
TOTAL	201m²

Roof area (including eaves & verandahs)	234m²
Typical internal site area	412m²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is minimum 5.5 x 6.0m

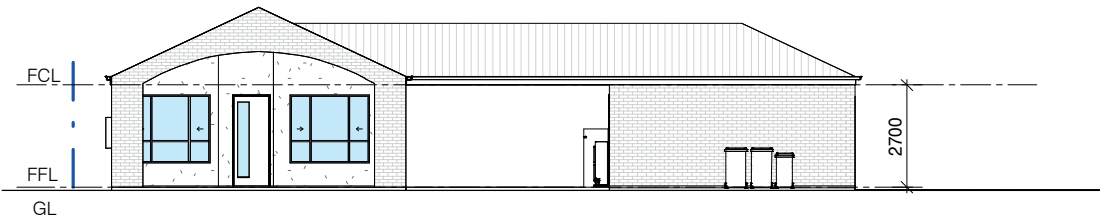
INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

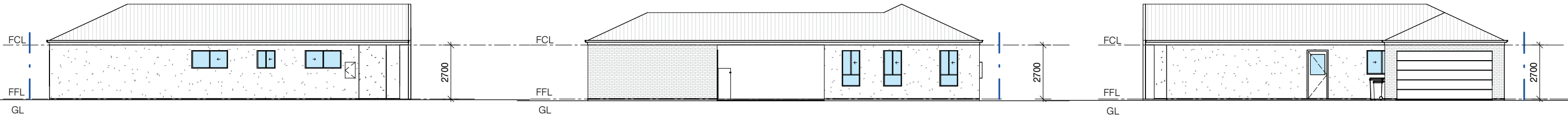
NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development.
Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.
For specifications regarding bins, see Waste Management Plan.
All Houses to have 3000 Litre water tank.



SITE 110 - STREET ELEVATION

SCALE: 1 : 200



SITE 110 - SIDE ELEVATION A

SCALE: 1 : 200

SITE 110 - SIDE ELEVATION B

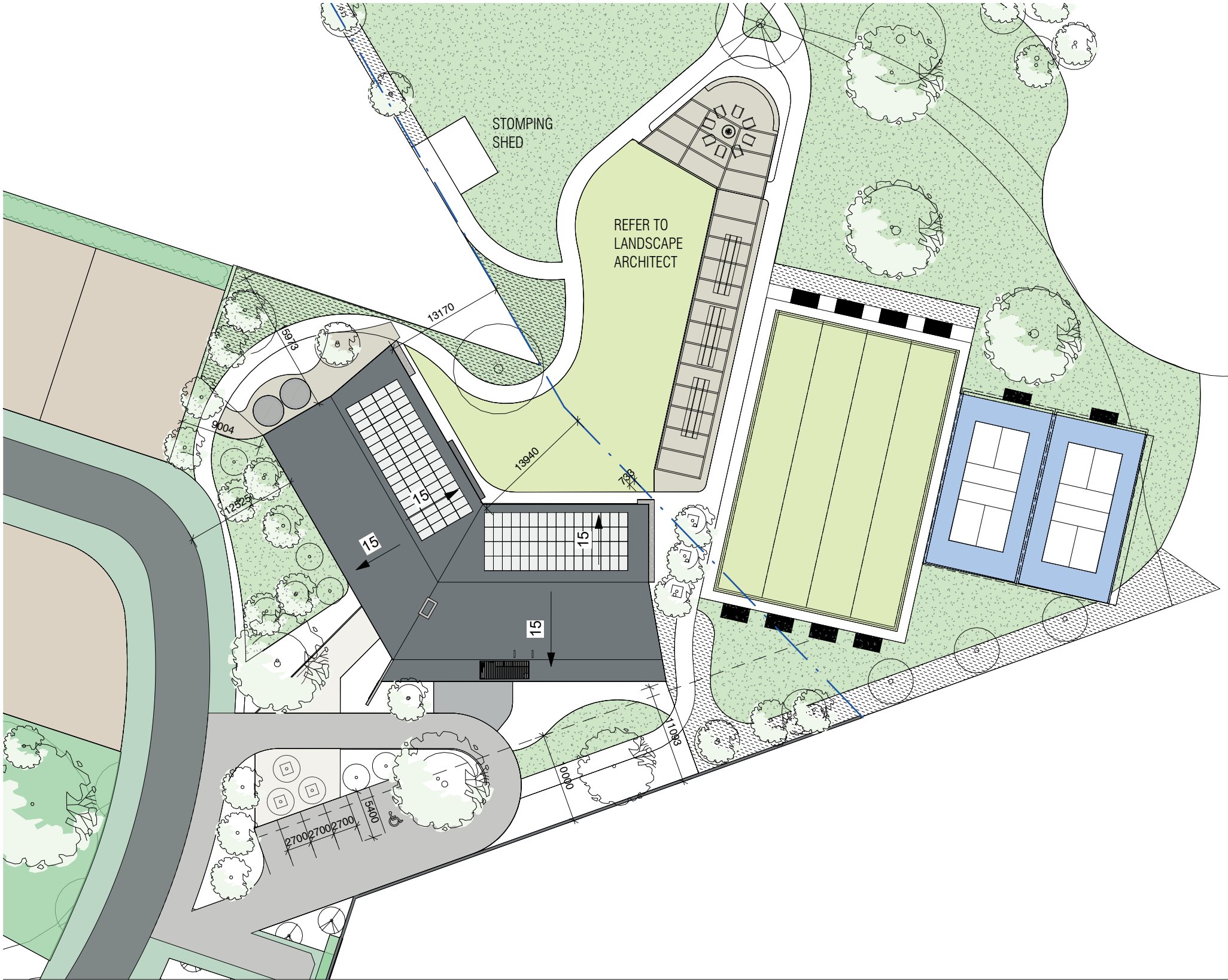
SCALE: 1 : 200

SITE 110 - GARAGE ENTRY ELEVATION

SCALE: 1 : 200

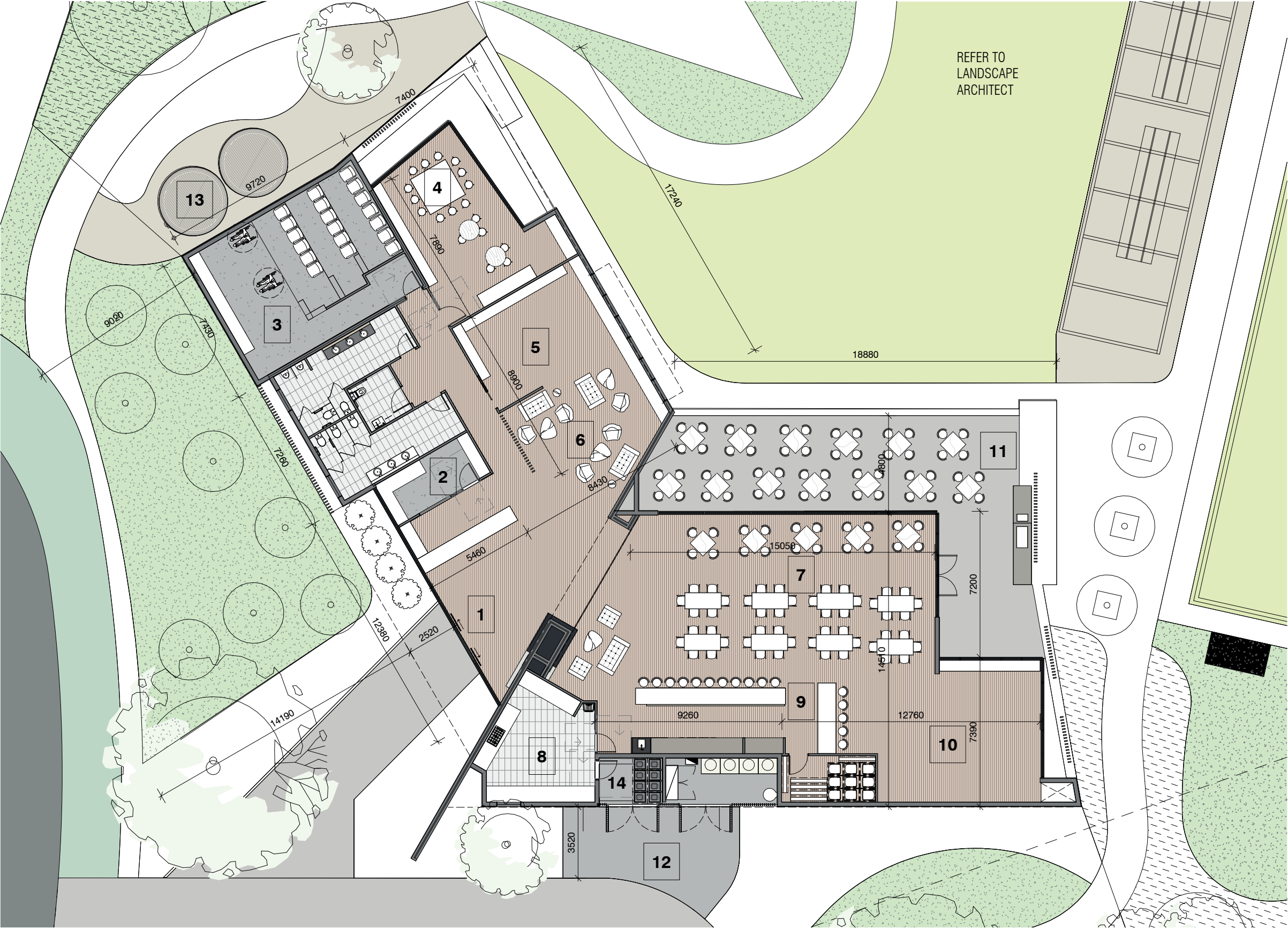
Site Plan

Clubhouse



Floor Plan

Clubhouse



LEGEND

- 1 ENTRY/ RECEPTION
- 2 ADMIN
- 3 CINEMA
- 4 ARTS AND CRAFTS
- 5 LIBRARY
- 6 LOUNGE
- 7 COMMUNITY SPACE/ DINING
- 8 BOH- KITCHEN
- 9 KITCHEN / BAR
- 10 GAMES/ MPR
- 11 BBQ / OUTDOOR DINING
- 12 BINS / SERVICES
- 13 WATER TANKS
- 14 REFUSE STORE

THE CLUBHOUSE

The Clubhouse Precinct forms the heart of the project and welcomes both residents and visitors. A range of social activities and service functions occur within this precinct.

INDICATIVE MATERIALS PALETTE

- Indicative external building materials may include
- Metal Wall Cladding
 - Stone
 - Timber posts
 - Metal Roof Cladding

Colours will typically be earthy and natural types

GBA (GROSS BUILDING AREA)

LEVEL	AREA
ENTRY	9 m ²
SERVICES	24 m ²
OUTDOOR	126 m ²
INDOOR	654 m ²
GRAND TOTAL	813 m ²

Note:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as Patios, Pergolas verandahs, etc.

Note:

Each Water Tank capacity = 20 000 Litre .

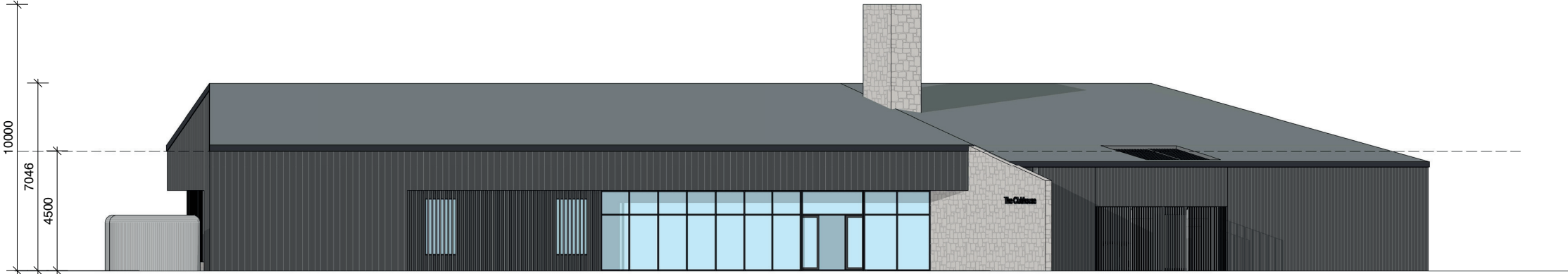


1:200 @ A3

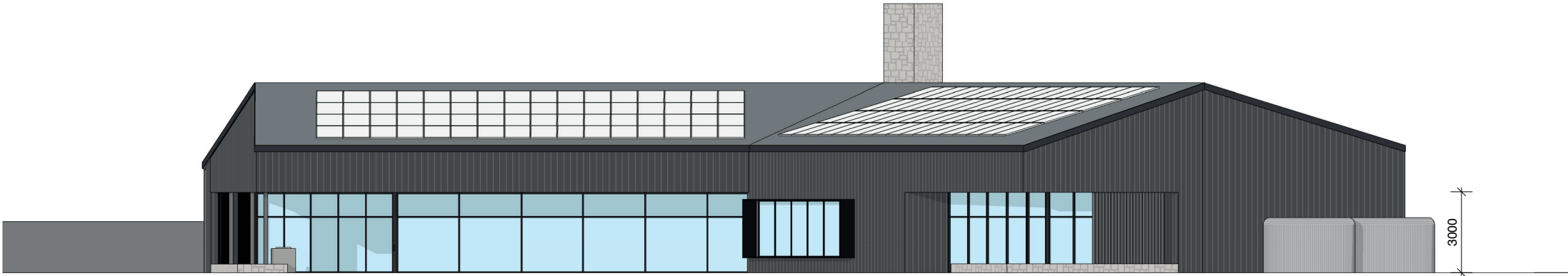


Elevations

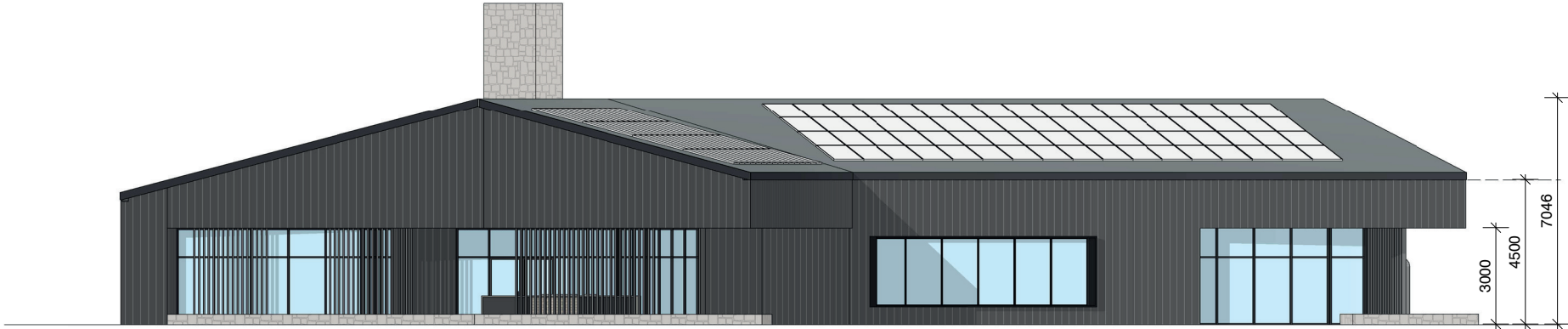
Clubhouse



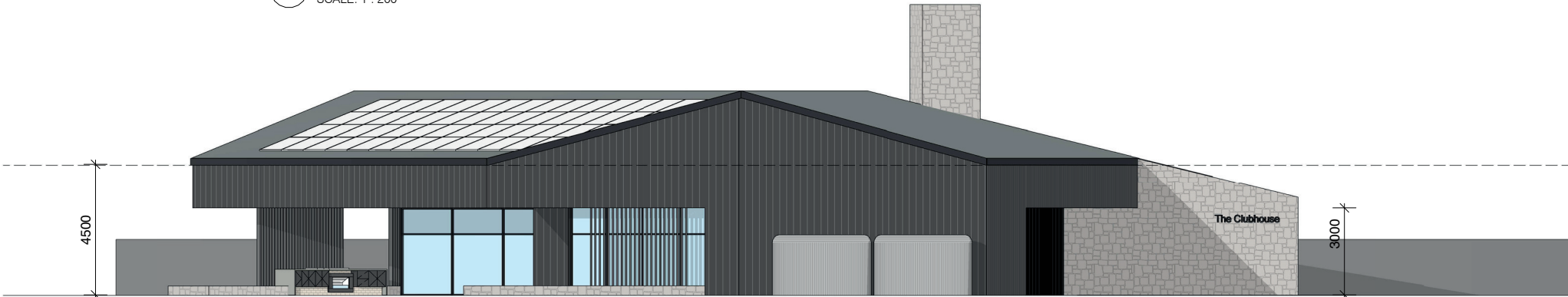
1 South Elevation
SCALE: 1 : 200



2 North Elevation
SCALE: 1 : 200



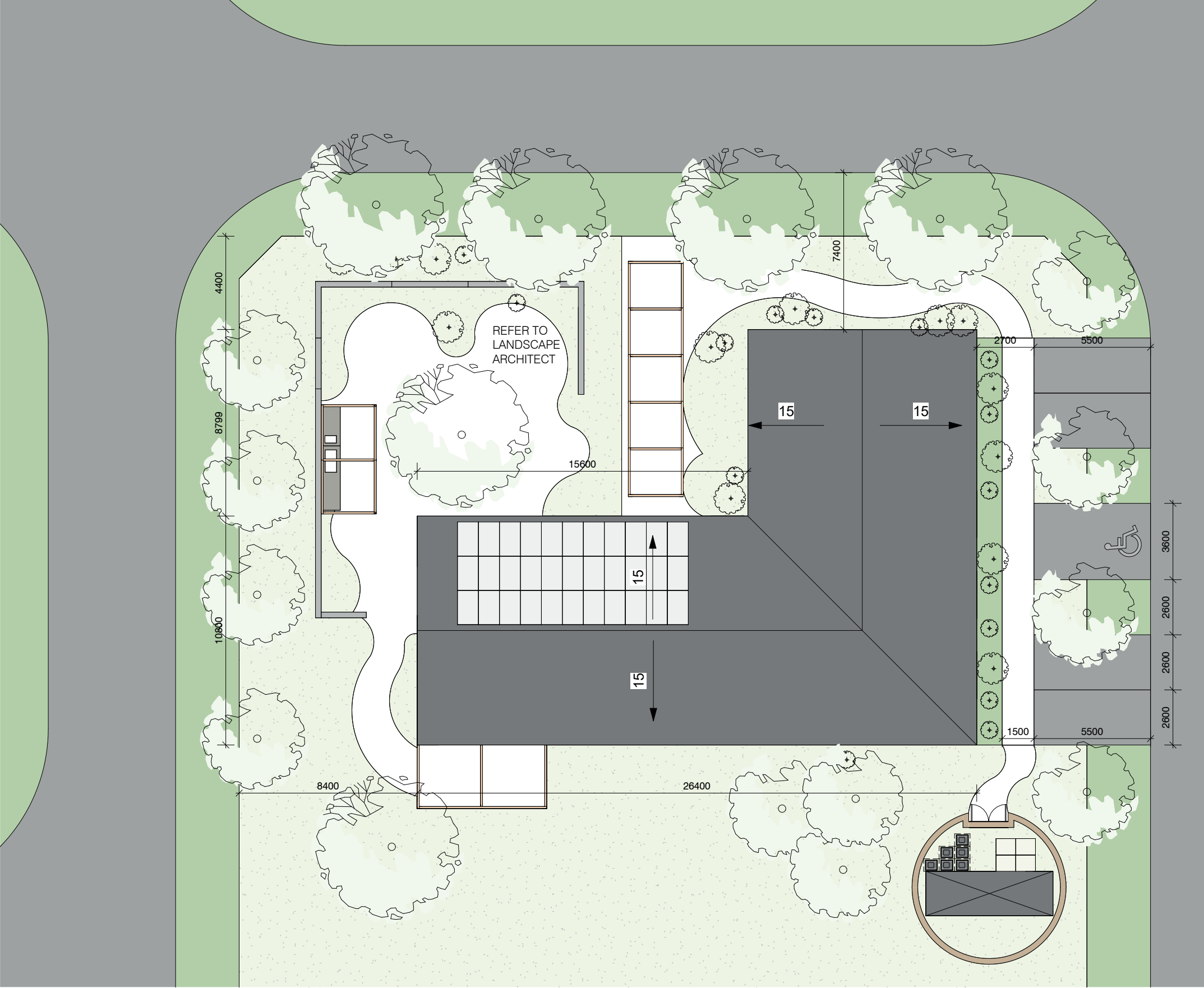
3 East Elevation
SCALE: 1 : 200



4 West Elevation
SCALE: 1 : 200

10m
1:200 @ A3

Site Plan
Wellness Centre

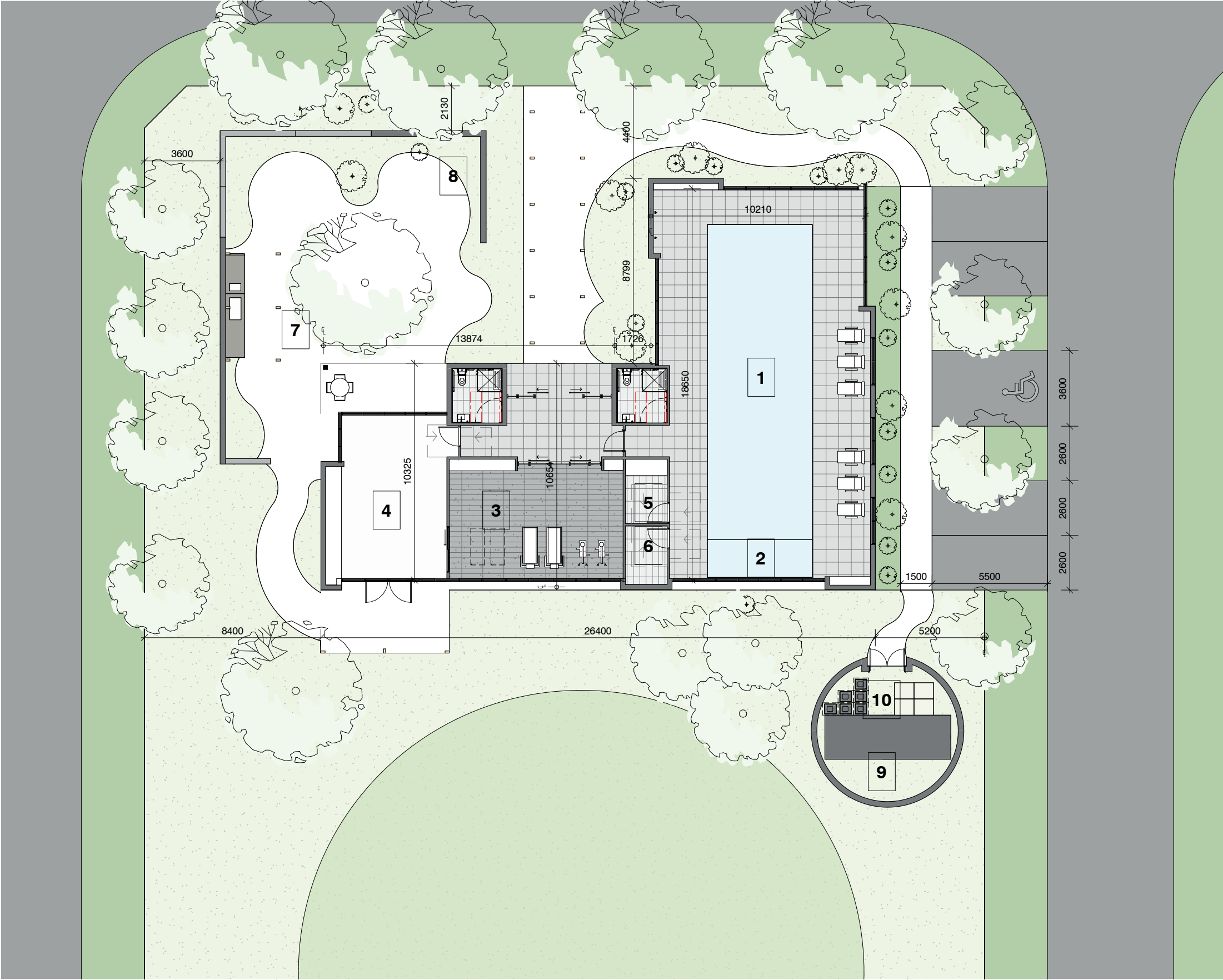


1:200 @ A3 10m



Floor Plan

Wellness Centre



LEGEND

- 1 SWIMMING POOL
- 2 SPA
- 3 GYM
- 4 MPR
- 5 SAUNA
- 6 STEAM
- 7 BBQ AREA
- 8 OUTDOOR SOCIAL SPACE
- 9 POOL EQUIPMENT SERVICES
- 10 REFUSE STORE

THE WELLNESS CENTER

The Wellness Center is a essential part of the project and welcomes both residents and visitors.
A range of fitness activities can occur within this precinct.

INDICATIVE MATERIALS PALETTE

- Indicative external building materials may include
- Metal Wall Cladding
 - Stone
 - Timber
 - Metal Roof Cladding
 - Brick

Colours will typically be earthy and natural types

Note:

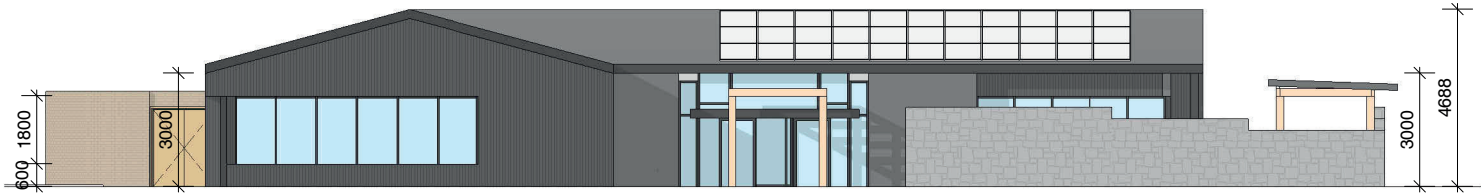
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development
Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as Patios, Pergolas verandahs, etc.

Area Schedule (Gross Building)

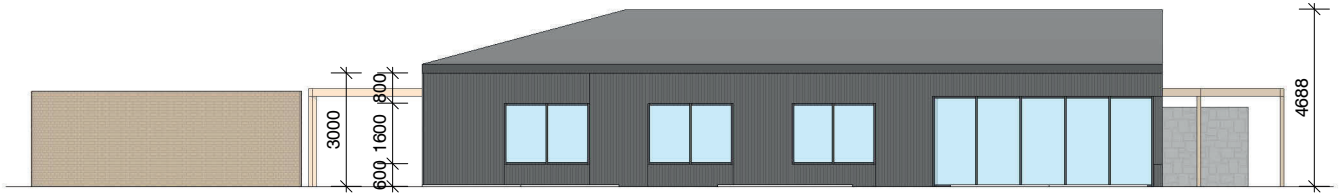
Name	Area
Inside wellness	364 m ²
Pool services	41 m ²

Elevations

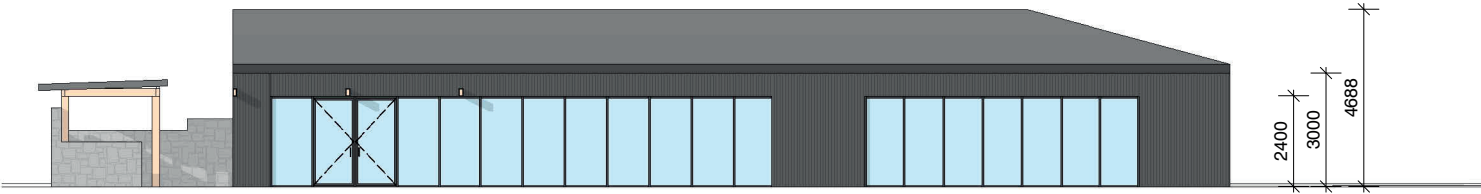
Wellness Centre



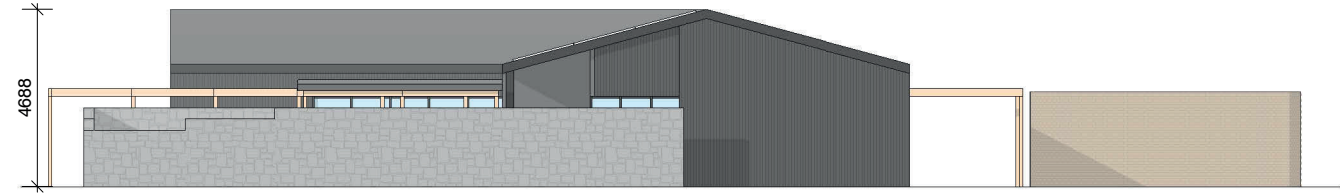
1 NORTH ELEVATION
SCALE: 1 : 200



2 EAST ELEVATION
SCALE: 1 : 200



3 SOUTH ELEVATION
SCALE: 1 : 200

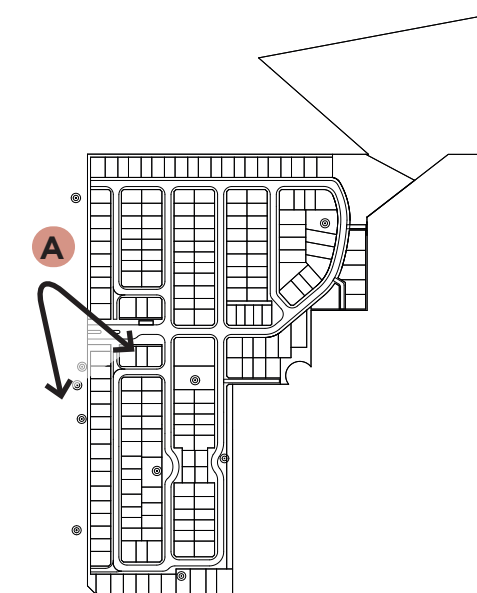


4 WEST ELEVATION
SCALE: 1 : 200

10m
1:200 @ A3

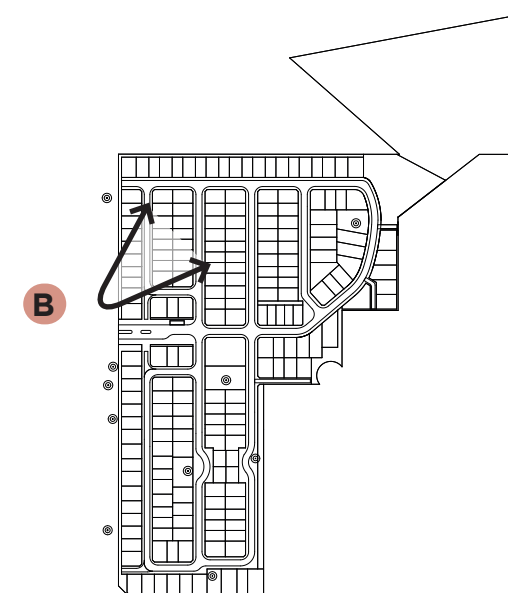
Brears Road LLC Entry Perspective

External LLC Edge Views - Dual Frontage Homes



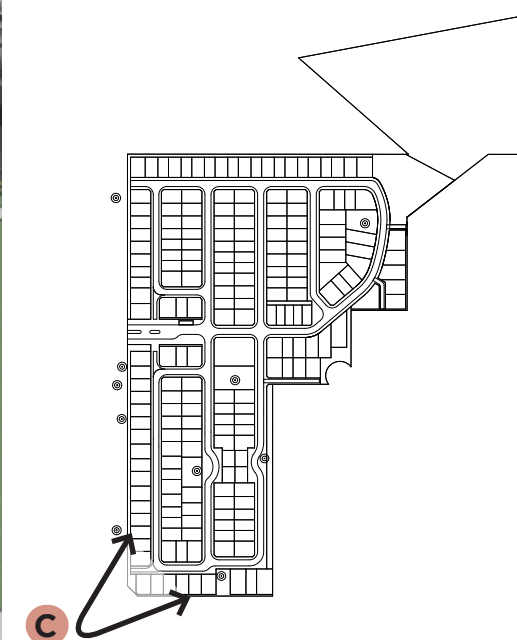
Brears Road Perspective

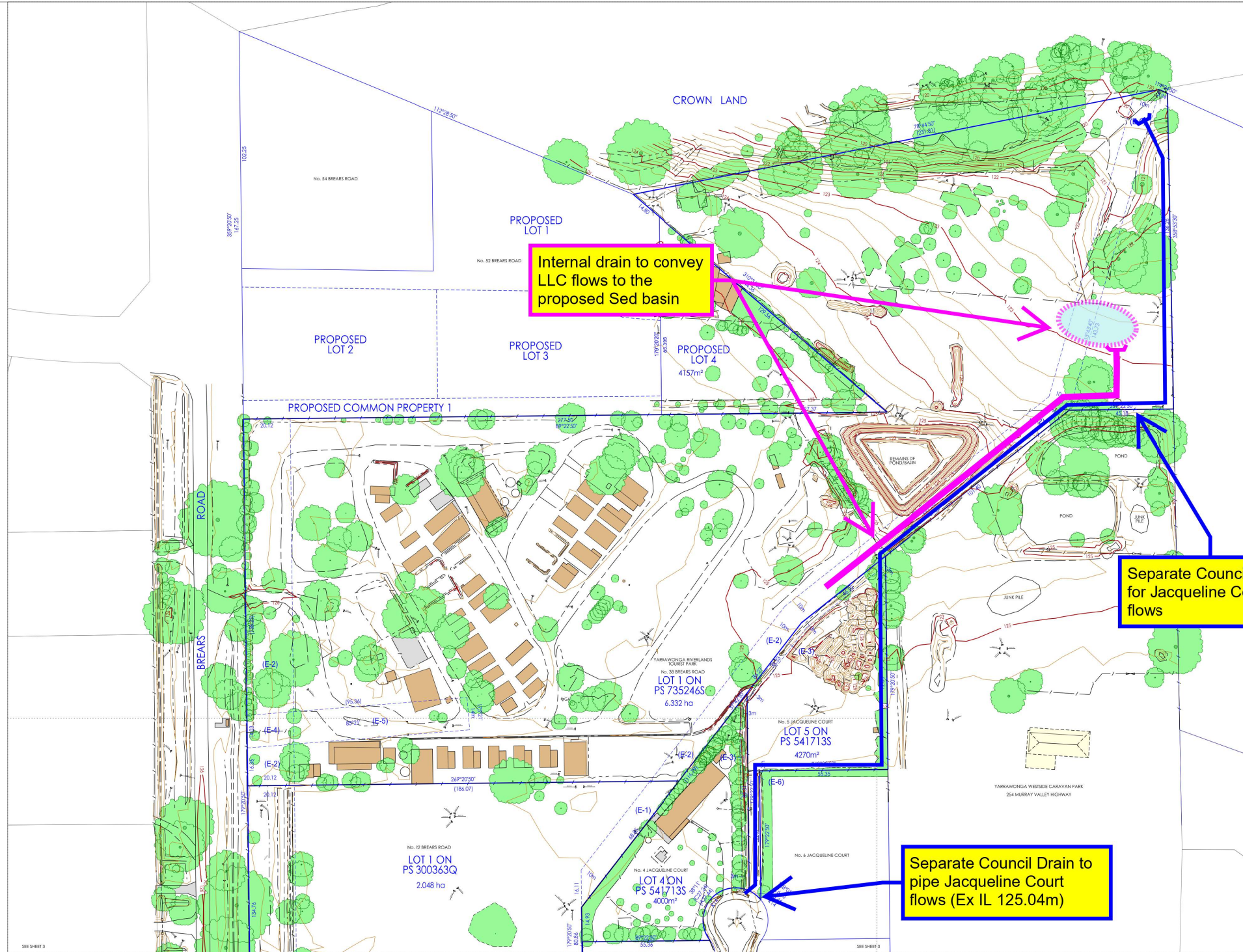
External LLC Edge Views - Dual Frontage Homes



Corner of Brears Road & Murray Valley Highway Perspective

External LLC Edge Views - Dual Frontage Homes





NWL 121.6m

Flood Level
123.7m

SWD IL 120.0m

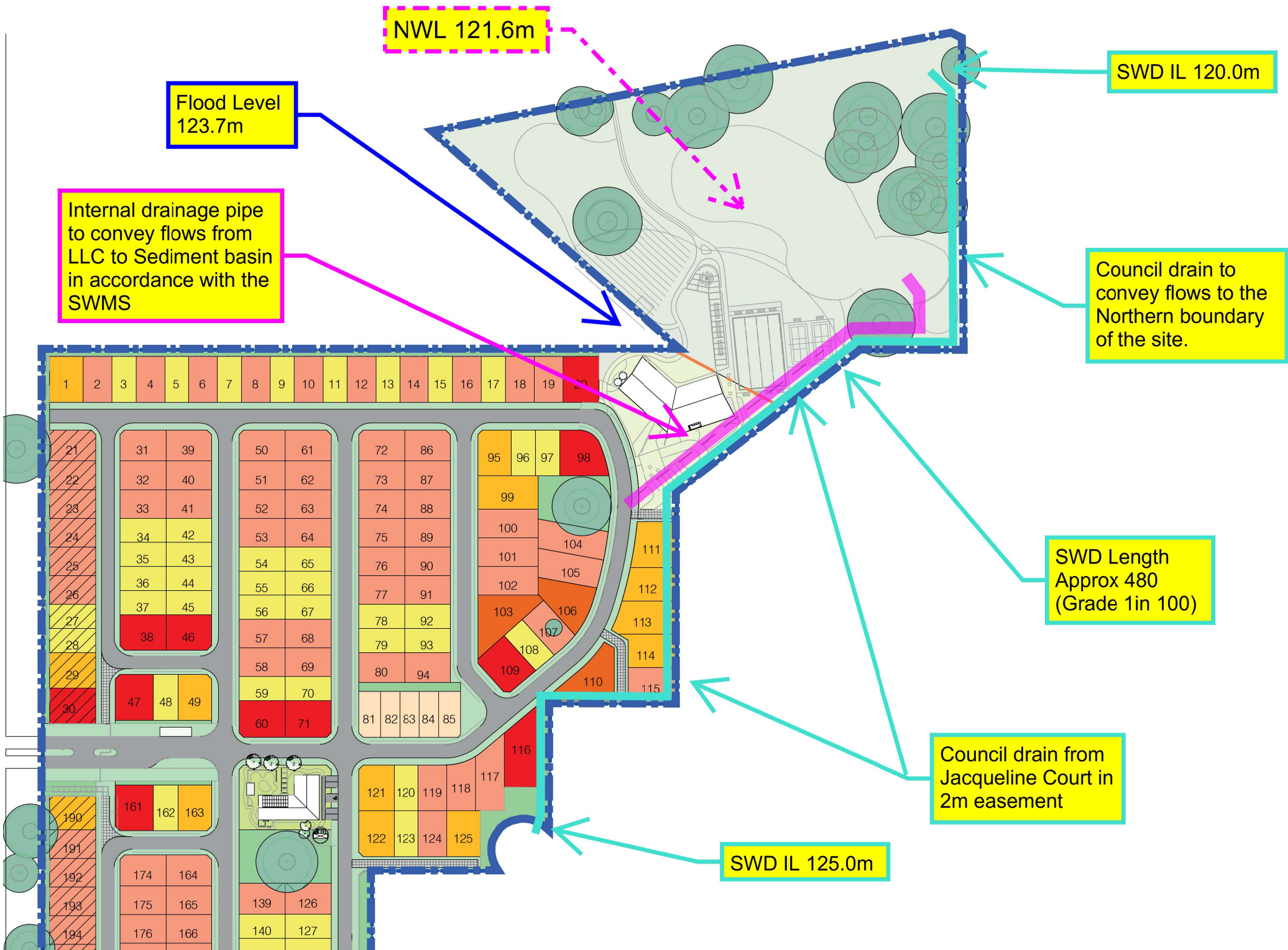
Internal drainage pipe
to convey flows from
LLC to Sediment basin
in accordance with the
SWMS

Council drain to
convey flows to the
Northern boundary
of the site.

SWD Length
Approx 480
(Grade 1in 100)

Council drain from
Jacqueline Court in
2m easement

SWD IL 125.0m



A conceptual layout of the wetland and sediment basin are shown in Figure 23 below, which is designed to have Normal Water Level (NWL) of 121.6 m AHD. Provision has been made for 1 in 6 batter slopes and a dry-out area. No drainage outfall works are proposed outside of the subject site. The outfall pipe from the wetland will discharge within the site along the existing drainage easement in the north-east corner.

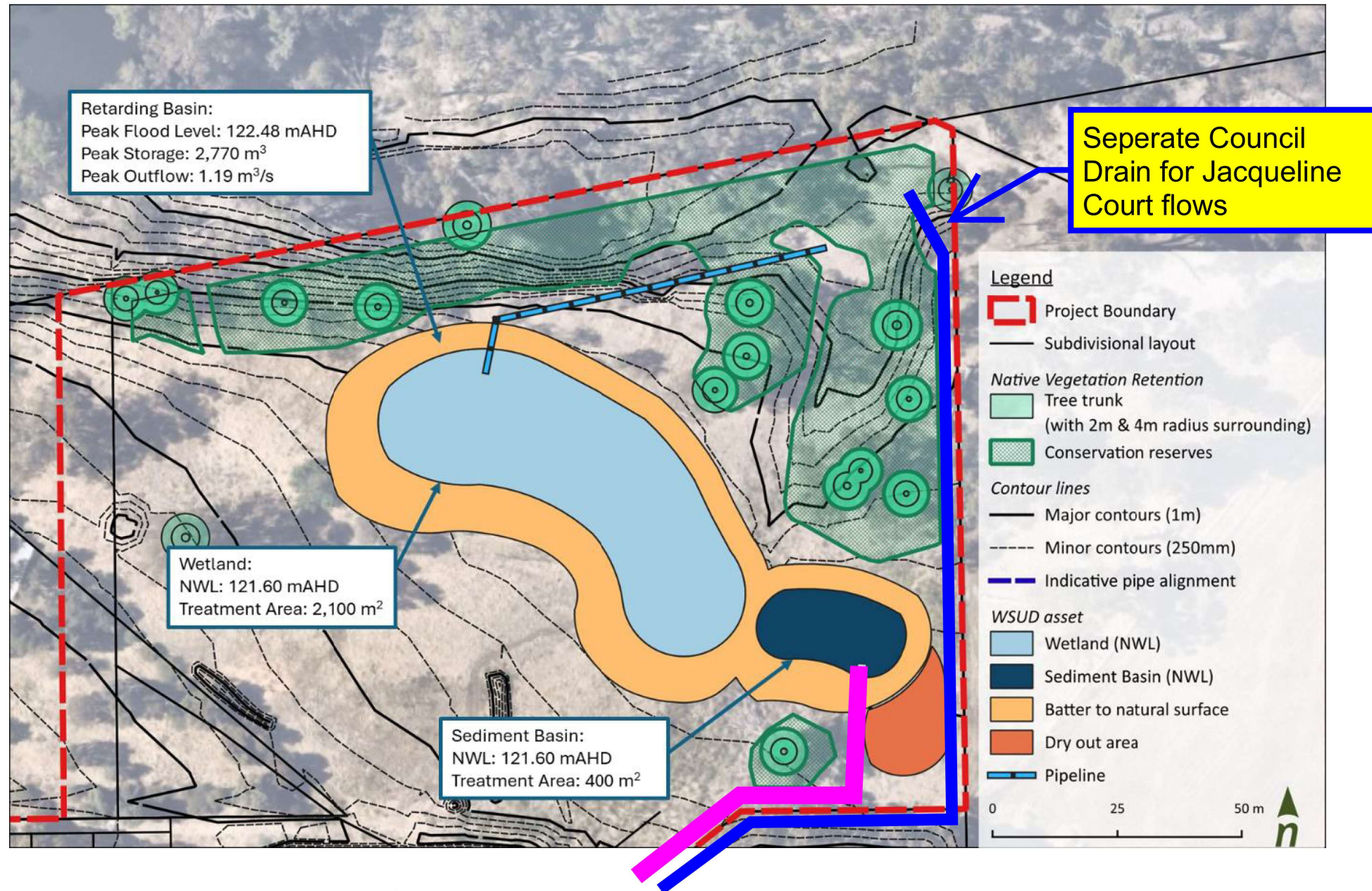
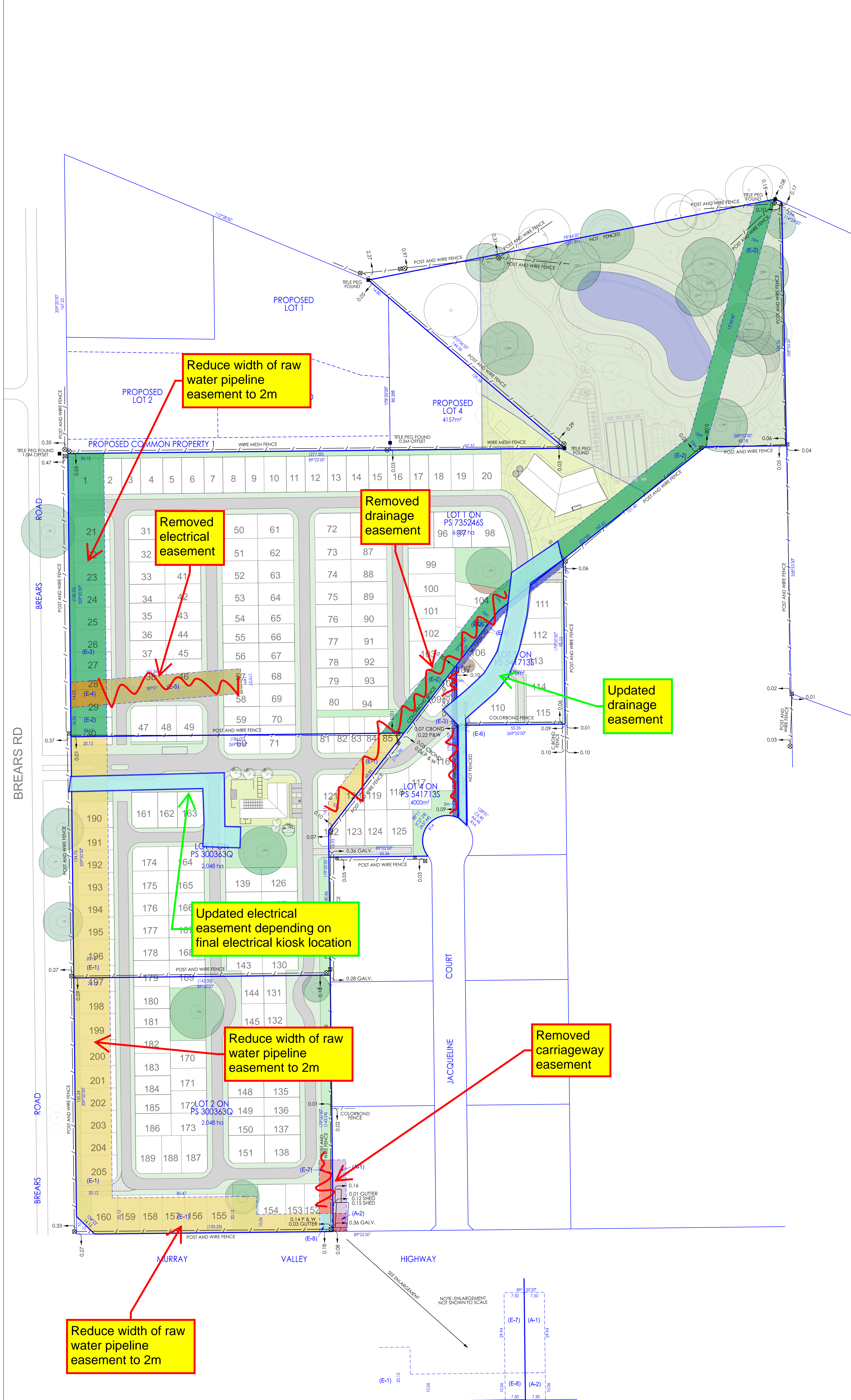
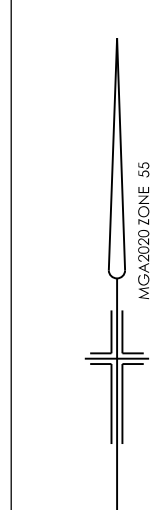


Figure 23. Wetland concept layout for Brears Road site



NOTATIONS

THE HARD COPY OF THIS PLAN MAY OR MAY NOT REPRESENT ALL THE DIGITAL INFORMATION AS SUPPLIED IN THE ACCOMPANYING DIGITAL DATA.

THE TOPOGRAPHIC FEATURES HAVE BEEN DERIVED BY FEATURE SURVEY MEANS. THIS DATA IS SUITABLE FOR PLANNING ONLY, AND SHOULD NOT BE USED FOR ANY OTHER PURPOSES. CRITICAL DIMENSIONS MEASURED FROM DIGITAL DATA MUST BE CONFIRMED BY THIS OFFICE.

THE LIGHTLY SHADED BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED FROM THE DIGITAL CADASTRAL MAP BASE AND ARE INDICATIVE ONLY.

ENLARGEMENTS ARE NOT SHOWN TO SCALE. THIS PLAN SHOULD BE READ WITH THE ACCOMPANYING REPORT.

SHEET 1 OF 1 SHEETS

PARCEL IDENTIFICATION

ADDRESS: 38 BREARS ROAD, YARRAWONGA, 3730
TITLE DESC: VOL 11811 FOL 230
LAST PLAN REF: LOT 1 ON PS 7352465
COUNTY: MOIRA
PARISH: YARRAWONGA
CROWN ALLOT: 11A (PART) AND 12A (PART)
SECTION: —

ADDRESS: 22 & 10 BREARS ROAD, YARRAWONGA, 3730
TITLE DESC: VOL 10001 FOL 689 & VOL 10001 FOL 690
LAST PLAN REF: LOTS 1 AND 2 ON PS 300363Q
COUNTY: MOIRA
PARISH: YARRAWONGA
CROWN ALLOT: 11A (PART)
SECTION: —

ADDRESS: 4 & 5 JACQUELINE COURT, YARRAWONGA, 3730
TITLE DESC: VOL 10993 FOL 582 & VOL 10993 FOL 583
LAST PLAN REF: LOTS 4 & 5 ON PS 5417135
COUNTY: MOIRA
PARISH: YARRAWONGA
CROWN ALLOT: 11A (PART)
SECTION: —

ENCUMBRANCES

EASEMENT INFORMATION

- E-1 WATER SUPPLY AND DRAINAGE EASEMENT IN FAVOUR OF LOTS IN PS 118722
- E-2 WATER SUPPLY AND DRAINAGE EASEMENT IN FAVOUR OF LOTS ON LP 118722
- E-3 DRAINAGE EASEMENT IN FAVOUR OF MOIRA SHIRE COUNCIL
- E-4 WATER SUPPLY AND DRAINAGE EASEMENT IN FAVOUR OF LOTS ON LP 118722
- E-4 POWERLINE PURPOSES EASEMENT IN FAVOUR OF POWERCOR AUSTRALIA LTD
- E-5 POWERLINE PURPOSES EASEMENT IN FAVOUR OF POWERCOR AUSTRALIA LTD
- E-6 DRAINAGE EASEMENT IN FAVOUR OF MOIRA SHIRE COUNCIL
- E-7 CARRIAGEWAY EASEMENT IN FAVOUR OF LOTS IN PS 118722
- E-8 WATER SUPPLY AND CARRIAGEWAY EASEMENT IN FAVOUR OF LOTS IN PS 118722
- A-1 CARRIAGEWAY EASEMENT IN FAVOUR OF LOTS IN PS 118722
- A-2 WATER SUPPLY AND CARRIAGEWAY EASEMENT IN FAVOUR OF LOTS IN PS 118722

LICENSED SURVEYOR CERTIFICATION

I, GLEN VILLELLA OF 1/19 CATO STREET, HAWTHORN EAST CERTIFY THAT THIS PLAN HAS BEEN PREPARED FROM A SURVEY MADE UNDER MY DIRECTION AND SUPERVISION IN ACCORDANCE WITH THE **SURVEYING ACT 2004** AND COMPLETED ON 30 JUNE 2023 THAT THIS PLAN IS ACCURATE AND CORRECTLY REPRESENTS THE ADOPTED BOUNDARIES AND THAT THE SURVEY ACCURACY ACCORDS WITH THAT REQUIRED BY REGULATIONS 7(1) OF THE SURVEYING (CADASTRAL SURVEYS) REGULATIONS 2015. DATE: 07 JULY 2023

SHEET SIZE A1

REVISIONS

NO	DATE	REVISION	BY	CHK
10				
9				
8				
7				
6				
5				
4	12/12/2023	MASTERPLAN OVERLAY ADDED	GV	TR
3	18/06/2023	EASEMENT DIMENSIONS ADDED	GV	TR
2	21/07/2023	TITLE OCCUPATION ADDED	GV	TR
1	17/07/2023	ORIGINAL PLAN	GV	TR
VER	DATE	COMMENTS	CHK	APP

BPD REF: 10894

