



PENTOLA ✦
PARTNERS ✦

RIVERE LLC
Development Application
Yarrawonga, Victoria

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DC8STUDIO



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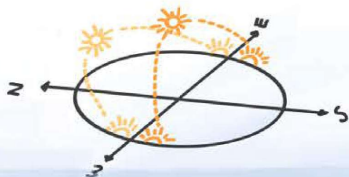
A detailed blue-toned sketch of a bicycle, showing the frame, wheels, handlebars, and seat. The drawing is composed of various line weights and includes some scribbled areas, particularly around the wheels and handlebars, giving it a hand-drawn, artistic feel.

Rivere LLC

Yarrawonga, Victoria

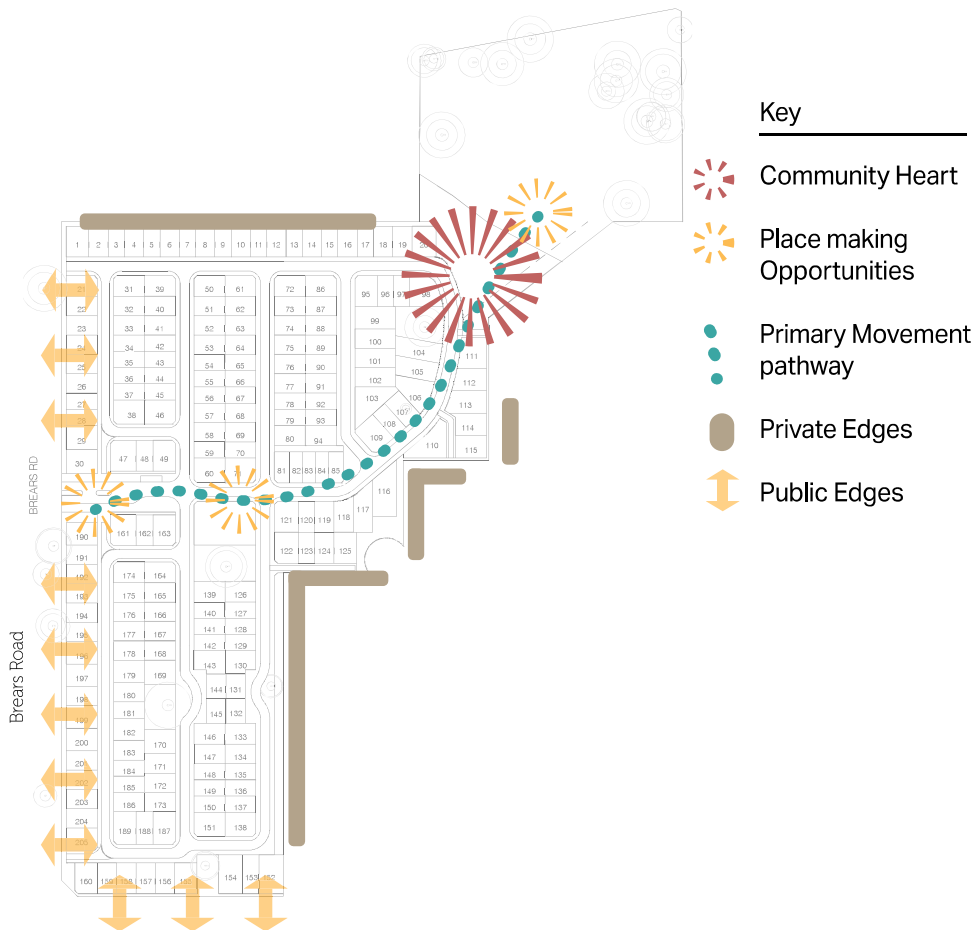
Site Analysis

Rivere LLC








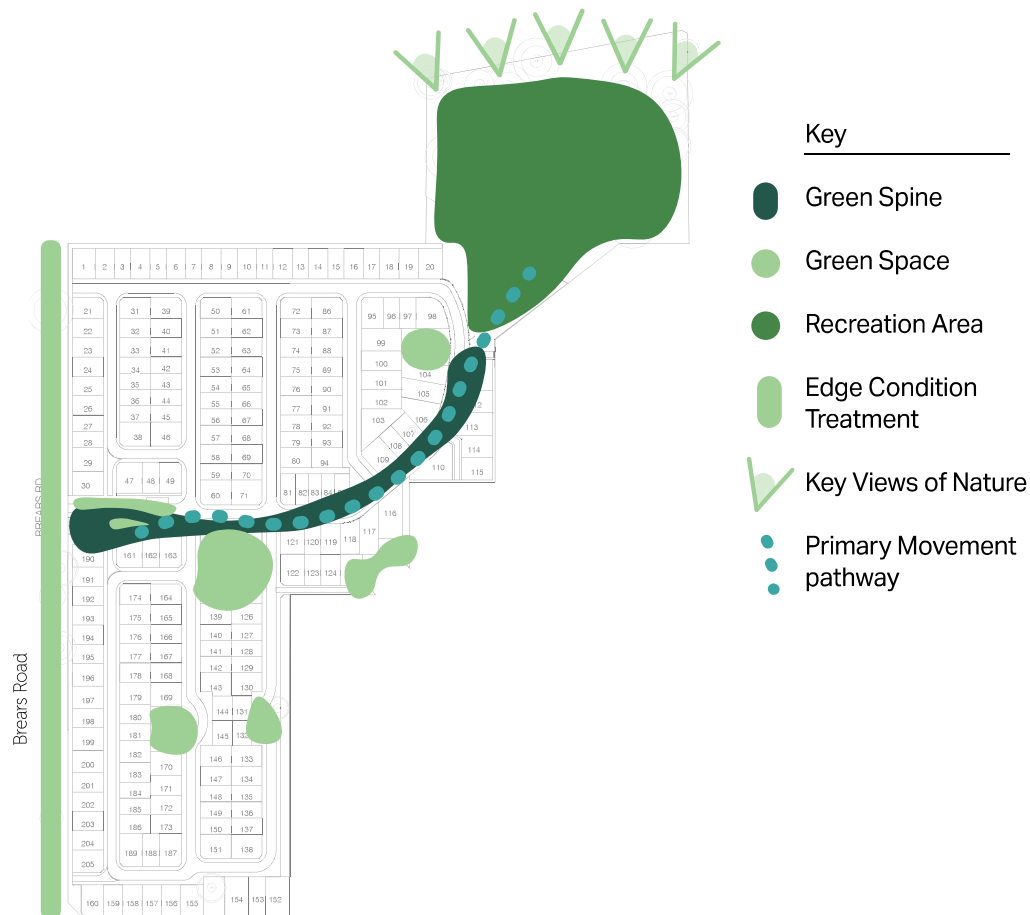
Master plan

The big moves



Key

-  Community Heart
-  Place making Opportunities
-  Primary Movement pathway
-  Private Edges
-  Public Edges



Key

-  Green Spine
-  Green Space
-  Recreation Area
-  Edge Condition Treatment
-  Key Views of Nature
-  Primary Movement pathway

Design Drivers

Inspired by Place



Murray River
Taking inspiration from the natural wonder of Victoria

Vernacular Materiality
Iconic materials, strong traditional forms



Country Victoria
Tailoring the design to reflect the surrounding environment

Designing to Climate
Creating resilient buildings that respond to local climatic conditions

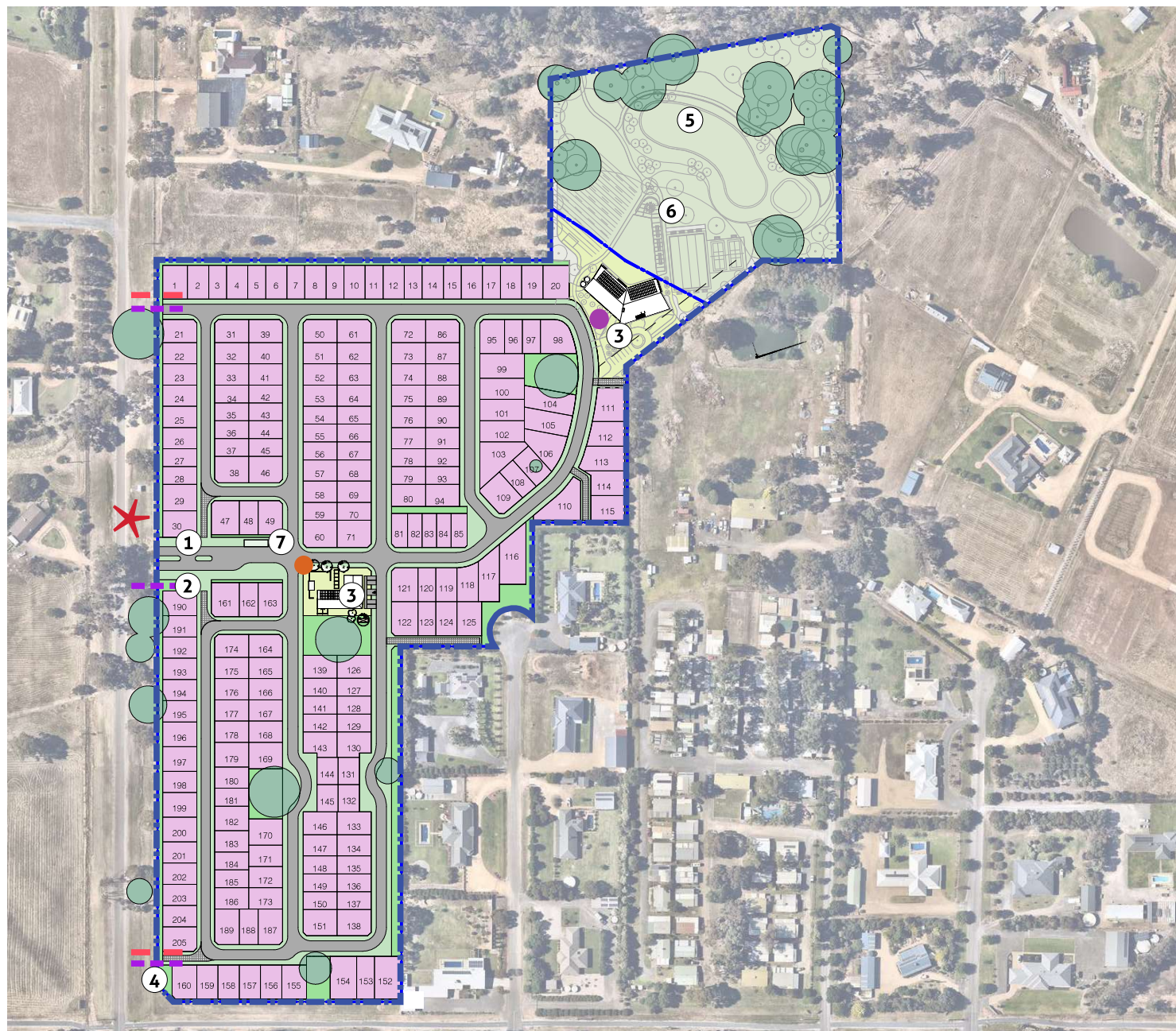




Master plan

Master plan

Core uses



LEGEND

- COMMUNAL OPEN SPACE / BUILDINGS RECREATION AREA
- REFER TO LANDSCAPE ARCHITECT FOR LANDSCAPE DESIGN
- RESIDENTIAL SITES
- CONSTRUCTION SITE ACCESS
- PEDESTRIAN LINKS
- OVERALL LLC SITE BOUNDARY

SIGNAGE

- PROJECT ENTRY
- WELLNESS PRECINCT
- THE CLUBHOUSE

1. MAIN ENTRY / EXIT + GATES
2. PEDESTRIAN GATES
3. LEISURE PRECINCT
4. CONSTRUCTION SITE ACCESS/FUTURE SECONDARY ENTRANCE
5. STORM WATER MANAGEMENT ZONE
6. RECREATION ZONE
7. MAIL HOUSE

SITE SUMMARY

SITE AREA: 11.33 Ha
 RESIDENTIAL SITES: 205



Site Types

House Sites by Frontage and Mix



LEGEND

INDICATIVE VARIOUS HOUSE SITE TYPES (Indicative only may be subject to change).

- 8.5m Frontage Sites
- 10.5m Frontage Sites
- 12.5m Frontage Sites
- 14.5m Frontage Corner Sites
- 15.5m Frontage Alternate Corner Sites
- 16m Frontage Sites
- Special Sites

Site Depths

House site depths are 20m with the exception of the 16m frontage sites with a depth of 12.5m

Overall LLC Site Boundary

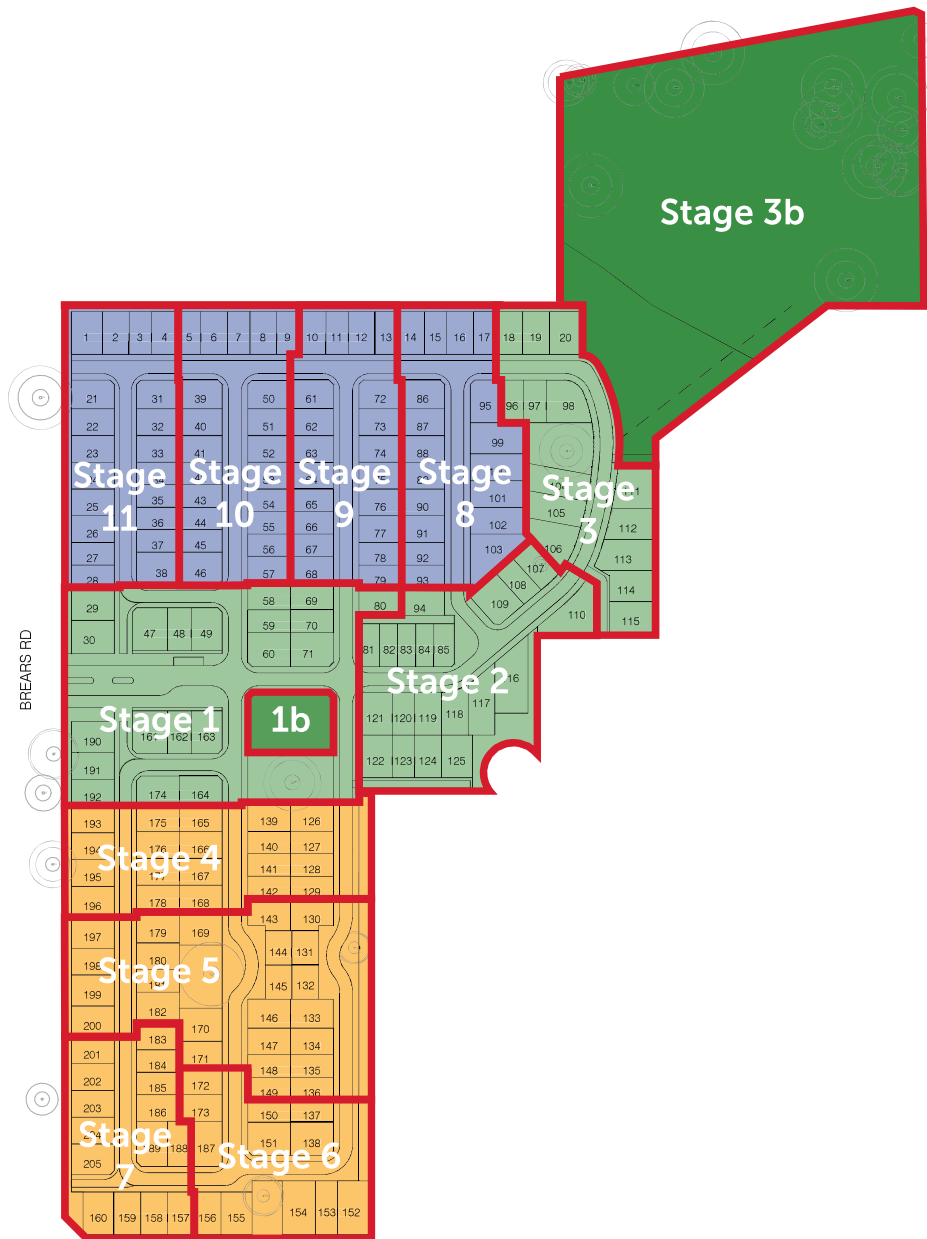
Frontage	Est. No.	Mix
16 m Shallow Sites	4	2%
8.5 Sites	5	2%
10.5 Sites	55	27%
12.5 Sites	99	48%
14.5 Sites	23	11%
15.5 Alternative Sites	16	8%
Special Sites	3	1%
Yield Estimate	205	

100m
1:2500 @ A3



Staging Diagram

Delivery program



NOTE:

This diagram shows an indicative approach to the staging of the Civil Works across the site.

Dwelling construction will follow the same sequence however in smaller sub-stages.

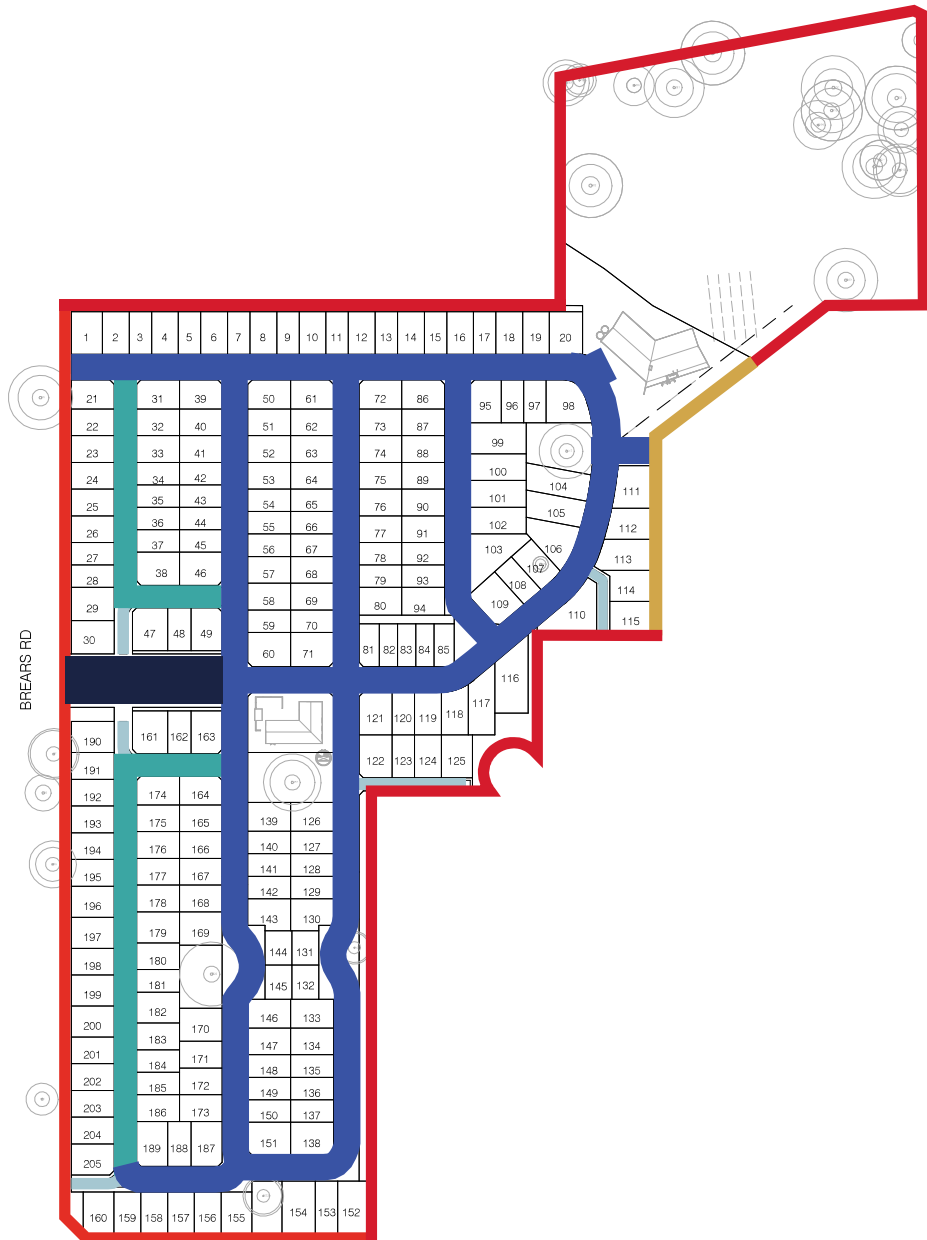
The Wellness Center and Community Facilities construction will follow stage 1 and 3 respectively.

1:2500 @ A3



Road Hierarchy and Fence Types

To be developed by Civil engineers and Landscape Architect



LEGEND

FENCING:

- INDICATIVE FENCING LOCATION -
- 2.1m HIGH BUSHFIRE FENCE
- REFER TO LANDSCAPE ARCHITECT REPORT FOR FURTHER DETAIL

ROAD HIERARCHY:

- 25m ENTRY ROAD
- 12m RESIDENTIAL ROAD
- 10.5m RESIDENTIAL ROAD
- 6m DRIVEWAY

NOTE:

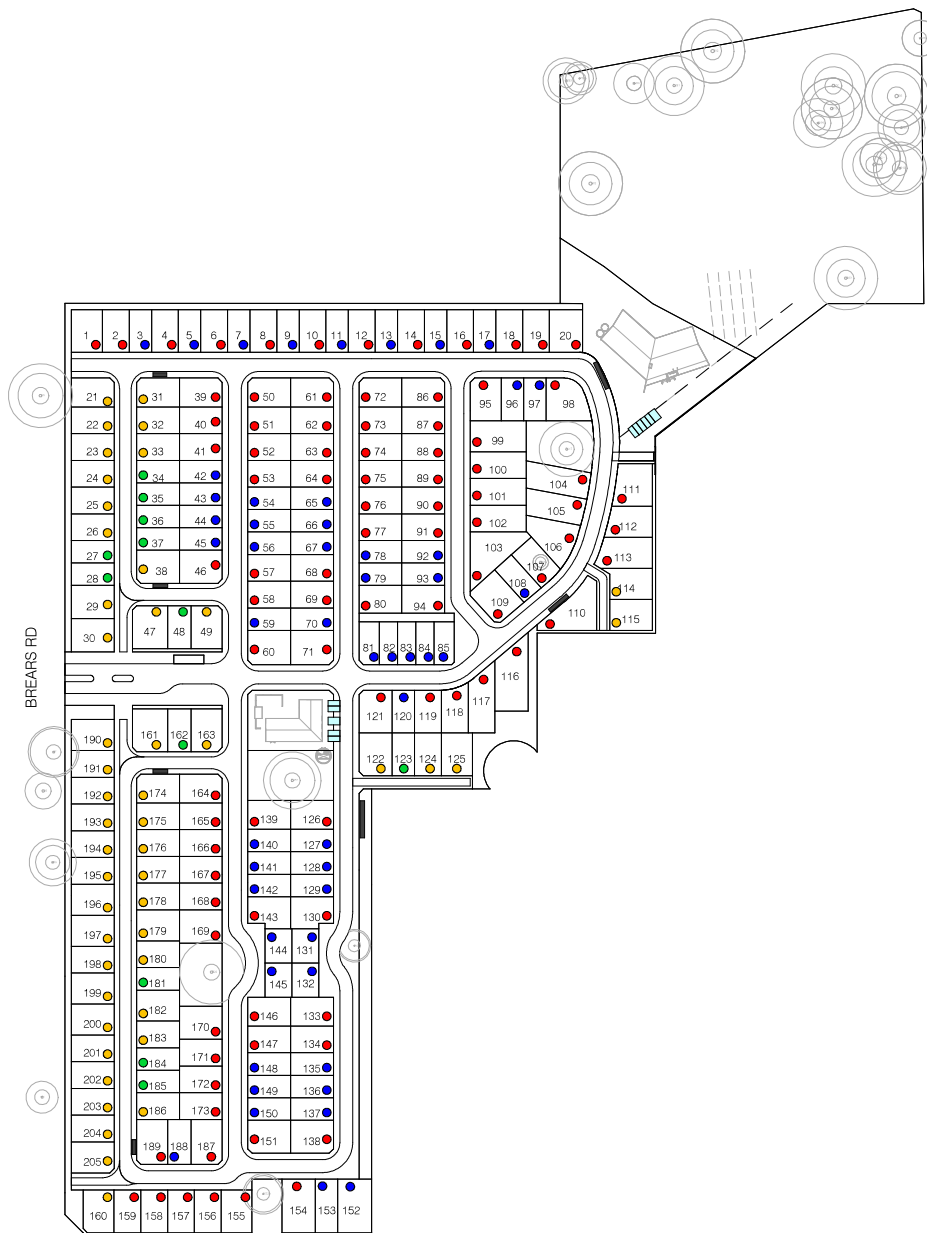
Refer to Landscape Architect Report for further information regarding Fence types and boundary treatments.

1:2500 @ A3



Parking

To be developed by Civil engineers and Landscape Architect



LEGEND

- PARKING - 12m ROADS**
 - Double Car Garage & 2 Visitor Parks in Driveway
Total Resident Parks - 186
Total Visitor Parks - 186
 - Single Car Garage & 1 Visitor Park in Driveway
Total Resident Parks - 52
Total Visitor Parks - 52
- PARKING - 10.5m ROADS**
 - Double Car Garage & no Visitor Park in Driveway (10.5m Roads)
Total Resident Parks - 96
 - Single Car Garage & no Visitor Park in Driveway (10.5m Roads)
Total Resident Parks - 12
- Facilities Parking Spaces
Total Visitor Parks - 11
- Designated Waste collection area for properties serviced by short shared access laneways

PARKING CAPACITY

Resident Parking provided:	346 Cars
Clubhouse Parking provided:	6 Cars
Wellness Parking provided:	5 Cars
Visitor Parking provided:	238Cars

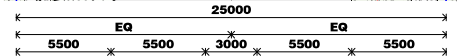
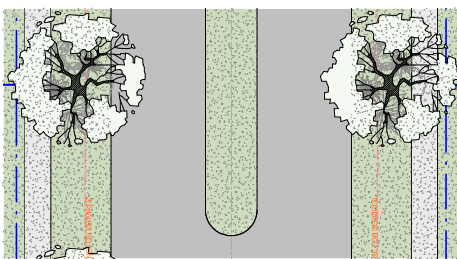
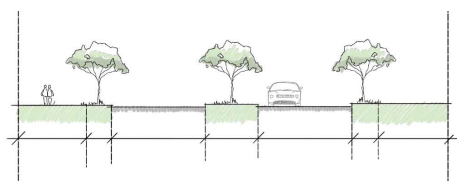
Total Parking: 595 Cars

Note: Final parking number will be determined by the house type selected.



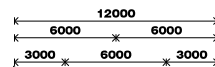
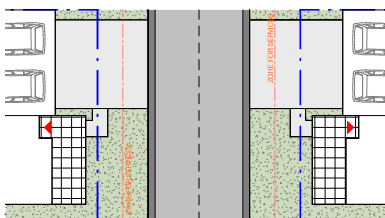
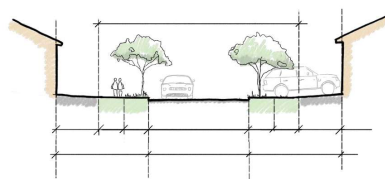
Road Hierarchy, Street Sections

To be developed by Civil engineers (not to scale)



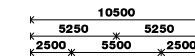
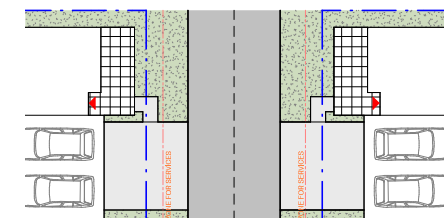
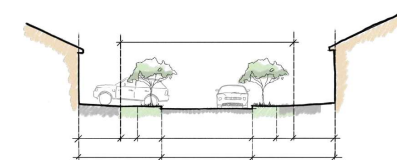
25 m Entry Road

- No Driveways come off Entry Road
- Central Median Strip with Gates
- Landscape Verges
- Final Design to be developed with Civil Engineer & Landscape Architect



12 m Residential Street

- Low Speed Shared ways
- Landscape Verges with 1 x street tree per dwelling. Verge landscape integrates with house landscape.
- No Footpaths as the streets are shared ways
- 5500mm setbacks from street to Garage to accommodate visitor Parking

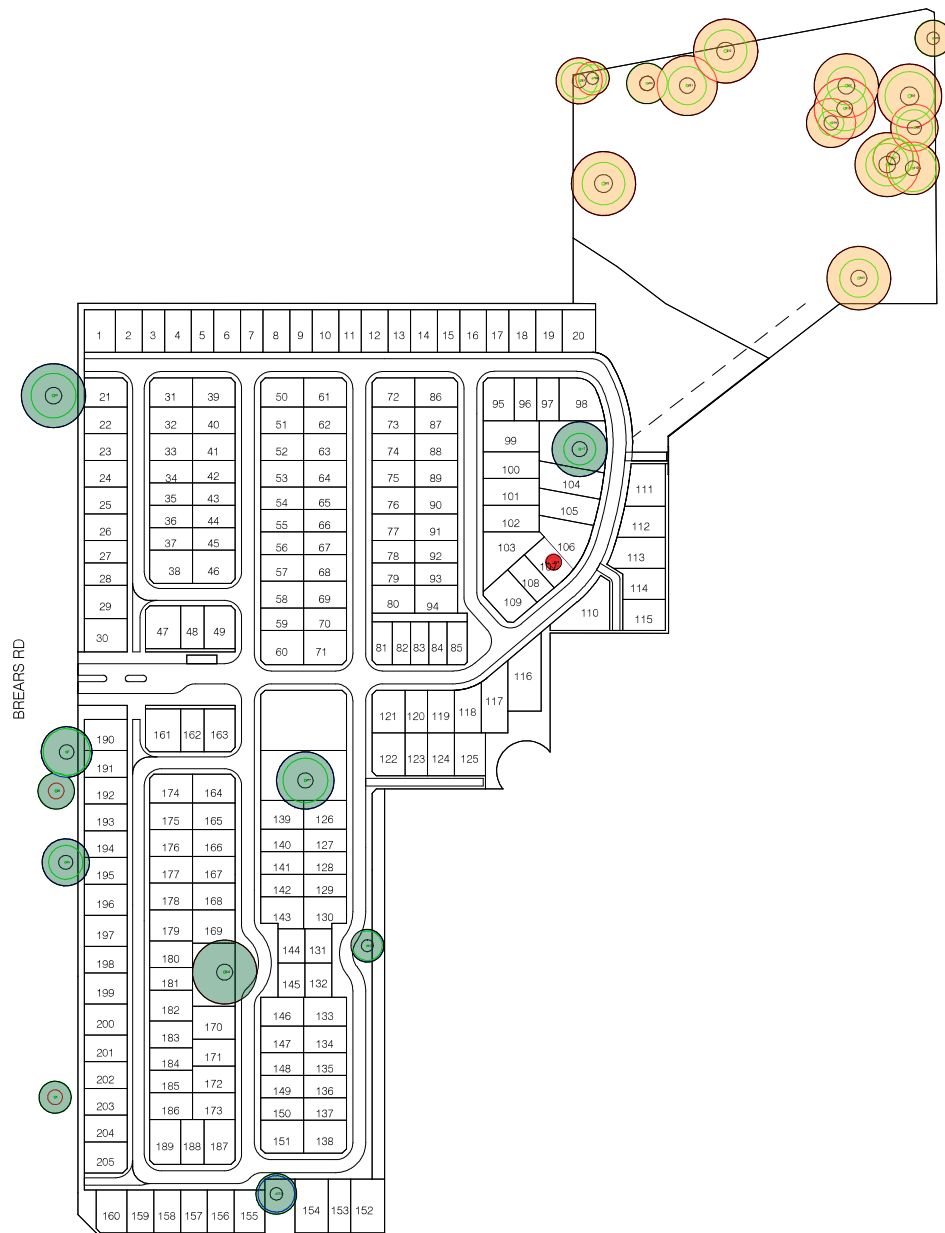


10.5m Residential Street

- Low Speed Shared ways
- Landscape Verges with 1 x street tree per dwelling. Verge landscape integrates with house landscape.
- No Footpaths as the streets are shared ways

Tree Retention

Trees to be retained across LLC Site



LEGEND

- TREES TO BE RETAINED WITHIN RESIDENTIAL AREA
- TREES TO BE RETAINED WITHIN RECREATION AREA
- TREE 380 TO BE MOVED TO AND RETAINED WITHIN RECREATION AREA

LIST OF RETAINED TREES (TREE NUMBERS AND LOCATIONS REFER TO ARBORIST REPORT):

- 1
- 16
- 20
- 21
- 30
- 117
- 282
- 283
- 284
- 286
- 291
- 292
- 300
- 306
- 308
- 309
- 310
- 311
- 312
- 314
- 315
- 369
- 380 - TO BE MOVED TO RECREATION AREA
- 452
- 522
- 537
- 572

1:2500 @ A3



Building Controls

Residential Sites

SETBACKS	BUILDING ELEMENT	REQUIREMENT
Main Perimeter LLC Property Boundary (Refer to adjacent Diagram 1)		
Adjoining Brears Road & Murray Valley Highway	Main Building walls	Minimum 2.5m █
Adjoining Brears Road & Murray Valley Highway	Main Building walls	Minimum 4m █
Adjoining Property	Main Building walls	Minimum 2.5m █
Adjoining Property	Main Building walls	Minimum 3.5m █
Internal Residential Sites		
Primary frontage site boundary	Single garage	Minimum 2m
	Double garage	Minimum 2m
	Main Building Walls	Minimum 1m
	Permitted encroachments - Including Verandahs, Pergolas, Patios and support structures/Decks and stairs / roofs / landscape elements.	Minimum 0m
Secondary road frontage site boundary (Note - does not apply to boundaries adjacent open space)	Main Building Walls	Minimum 1m
	Permitted encroachments - Including Verandahs, Pergolas, Patios and support structures/Decks and stairs / roofs / landscape elements.	Minimum 0m
Corner Site Boundary Truncations (Refer to Diagram 2)	Main building walls	See diagram2
	Permitted encroachments - Including Verandahs, Pergolas, Patios and support structures/Decks and stairs / roofs / landscape elements.	Minimum 0m
Between Dwellings	Between adjacent dwelling building walls.	Minimum 1m
	Between adjacent dwelling Fire Rated Walls.	Minimum 0m
OTHER CONTROLS		
	BUILDING ELEMENT	
	Building height	Maximum 9m above finished ground level

DIAGRAM 1 - Main site boundary setbacks (not to scale)

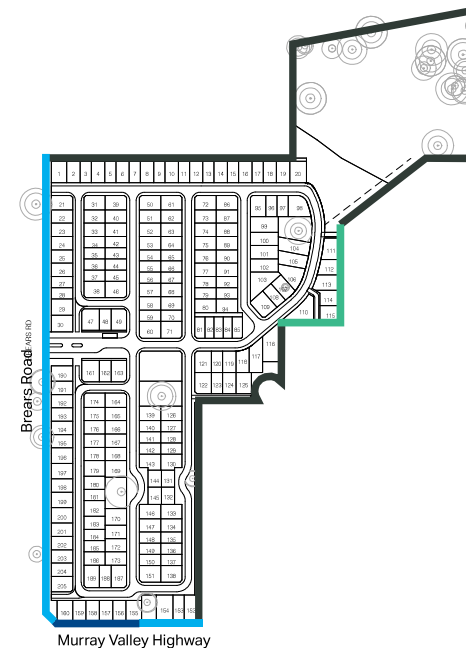
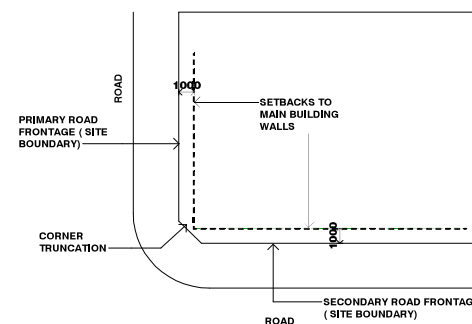


DIAGRAM 2 - Corner Truncations (not to scale)





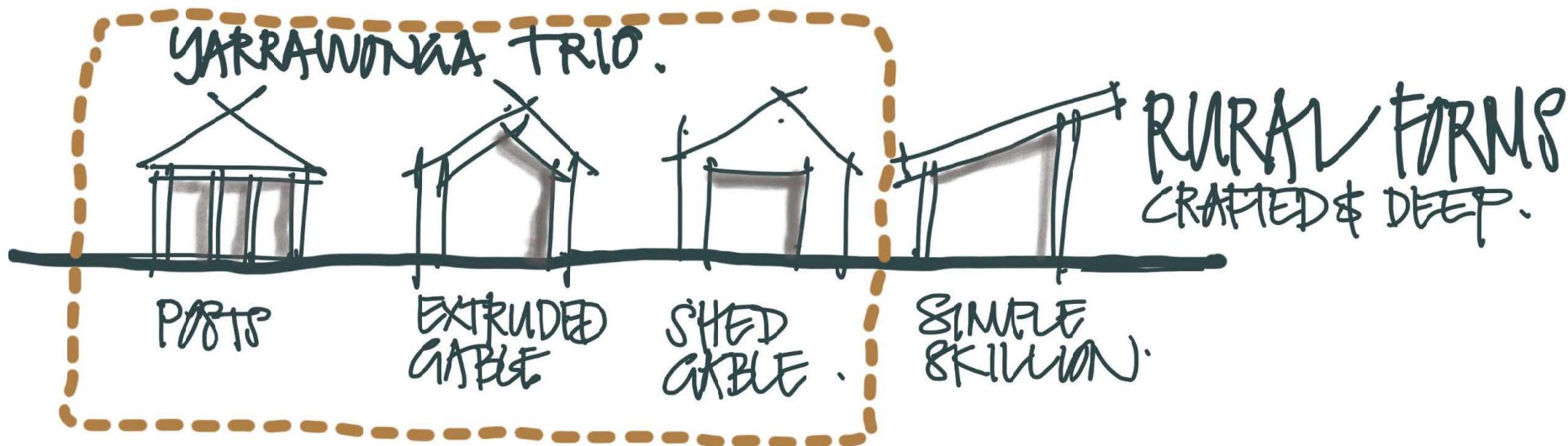
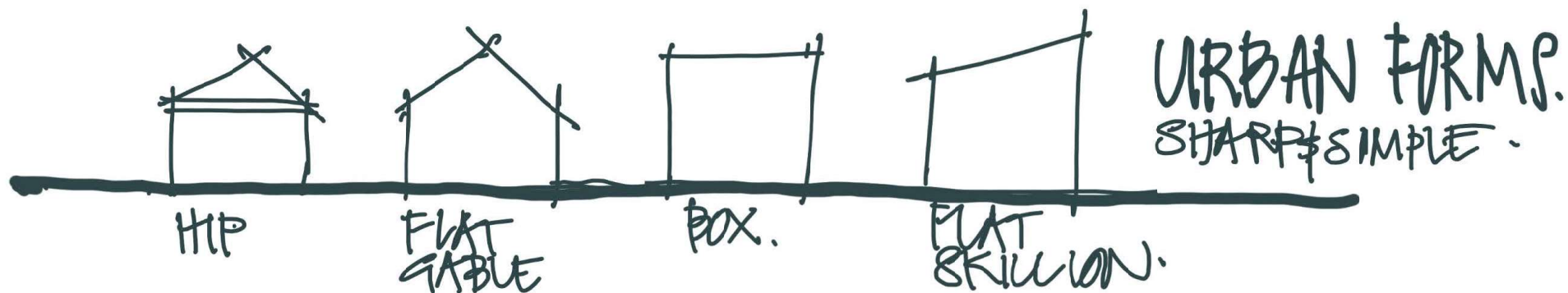
Housing Typology

Concept Designs

House Forms

A study of fundamental house form

FUNDAMENTAL HOUSE FORMS.



House Forms

The core ideas



- THE VINEYARD GABLE.
- BRICK FACADE.
 - RENDERED BEHIND.
 - THE RUTHERGLEN



- CLASSIC HIP WITH A COUNTRY TWIST.
- RENDERED WALLS.
 - TIMBER COLUMNS.
 - MAYBE SOME VINES CRAWLING UP THE POSTS.



- GABLE
- KING POST TRUSS TO VERANDAH.
 - PAINTED FC CLADDING TO HOUSE.
 - RENDERED GARAGE.

Housing Typology

Streetscape



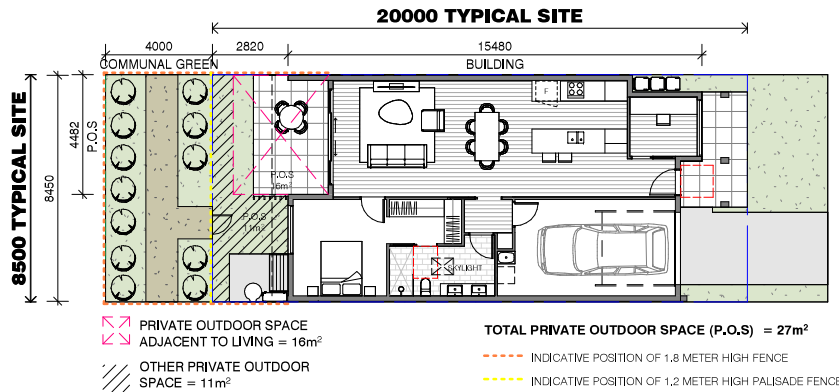
Vineyard Arch
Strong, Crafted, Bold

Hip
Simple, Clean, Traditional

Country Gable
Classic, Crisp, Confident

HOUSE TYPE 1

8.5M X 20M SITE



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 1 Bed
- 1 Bath

APPROX AREA SUMMARY

Garage	24 m ²
Internal	93 m ²
Outdoor (Patio, Verandah & Court, may be covered)	25 m ²
TOTAL	142m²

Roof area of Hip (including eaves & verandahs)	143m ²
Typical internal site area	107m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan.

1 HOUSE TYPE 01- GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



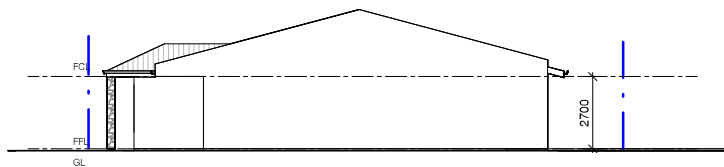
2 CONCEPT STREET ELEVATION_HIP
SCALE: 1 : 200



3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



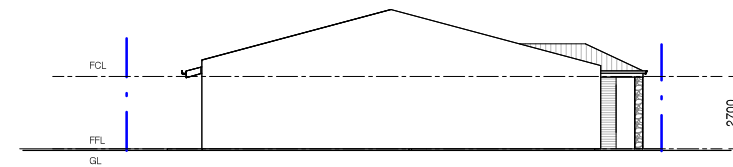
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_HIP
SCALE: 1 : 200



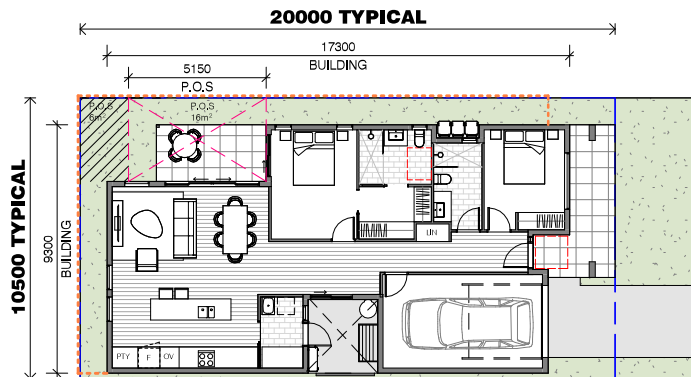
6 REAR ELEVATION_HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_HIP
SCALE: 1 : 200

HOUSE TYPE 2

10.5M X 20M SITE



▤ PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m²
▤ OTHER PRIVATE OUTDOOR SPACE = 6m²
TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 22m²
--- INDICATIVE POSITION OF 1,8 METER HIGH FENCE

1 HOUSE TYPE 02 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



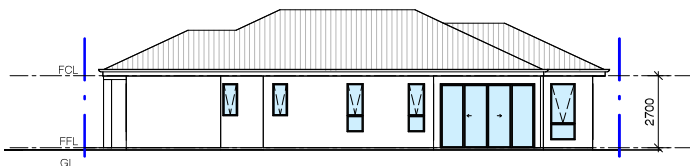
2 CONCEPT STREET ELEVATION_HIP
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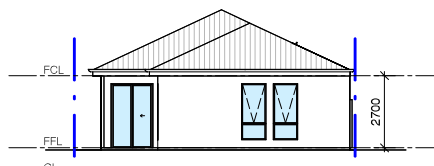
3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



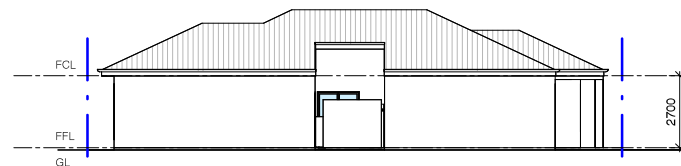
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_HIP
SCALE: 1 : 200



6 REAR ELEVATION_HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_HIP
SCALE: 1 : 200

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 2 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	24m ²
Internal	112m ²
Outdoor (Patio, Verandah & Court may be covered)	26m ²
TOTAL	162m²

Roof area of Hip (including eaves & verandahs)	178m ²
Typical internal site area	210m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

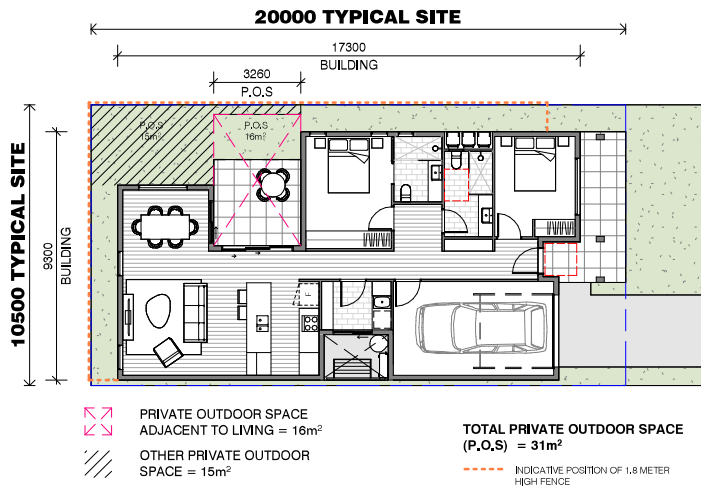
NOTE:

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For specifications regarding bins, see Waste Management Plan.

HOUSE TYPE 3

10.5M X 20M SITE



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 2 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	23m ²
Internal	106m ²
Outdoor (Patio, Verandah & Court, may be covered)	26m ²
TOTAL	155m²

Roof area of Hip (including eaves & verandahs)	167m ²
Typical internal site area	210m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0 x3.5mm.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard,
- Painted / Coloured FC sheeting.
- Feature Brickwork,
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.



1:200 @ A3

1 HOUSE TYPE 03 - GENERAL ARRANGEMENT PLAN

SCALE: 1 : 200



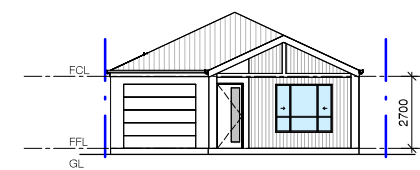
2 CONCEPT STREET ELEVATION_HIP

SCALE: 1 : 200



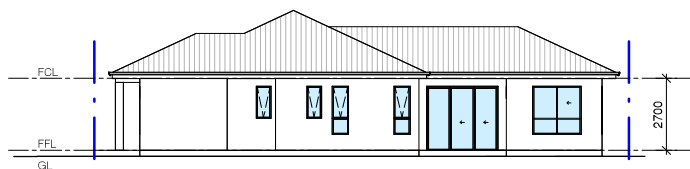
3 CONCEPT FRONT ELEVATION - VINEYARD ARCH

SCALE: 1 : 200



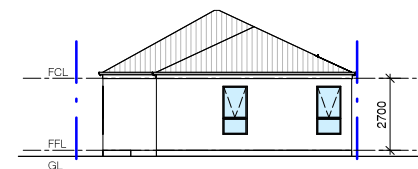
4 CONCEPT STREET ELEVATION_COUNTRY GABLES

SCALE: 1 : 200



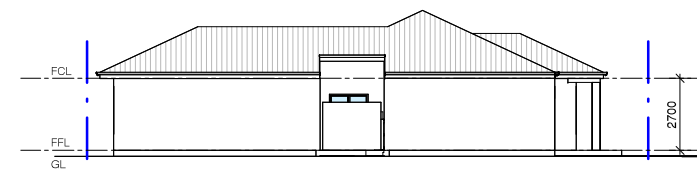
5 SIDE ELEVATION A_HIP

SCALE: 1 : 200



6 REAR ELEVATION_HIP

SCALE: 1 : 200

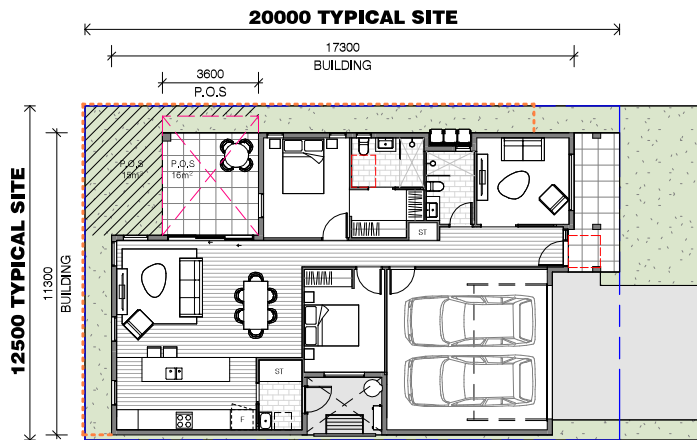


7 SIDE ELEVATION B_HIP

SCALE: 1 : 200

HOUSE TYPE 4

12.5M X 20M SITE



PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m²
 OTHER PRIVATE OUTDOOR SPACE = 15m²

TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 31m²

INDICATIVE POSITION OF 1.8 METER HIGH FENCE

1 HOUSE TYPE 04 - GENERAL ARRANGEMENT PLAN

SCALE: 1 : 200

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 2 Bed
- 1 MPR
- 2 Bath

APPROX AREA SUMMARY

Garage	39m ²
Internal	124m ²
Outdoor (Patio, Verandah, may be covered)	29m ²
TOTAL	192m²

Roof area of Hip (including eaves & verandahs)	212m ²
Typical internal site area	250m ²

Typical site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

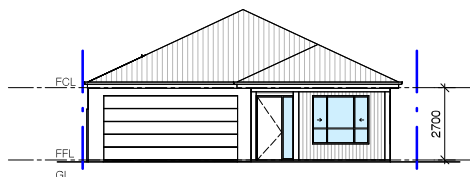
May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.



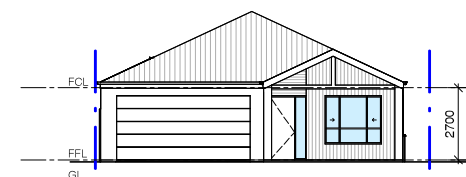
2 CONCEPT STREET ELEVATION_HIP

SCALE: 1 : 200



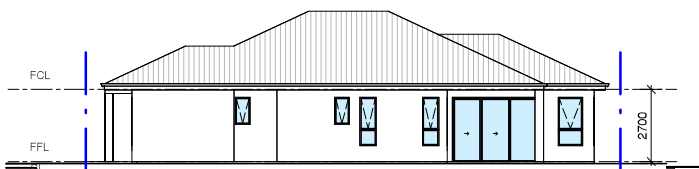
3 CONCEPT FRONT STREET ELEVATION - VINEYARD ARCH

SCALE: 1 : 200



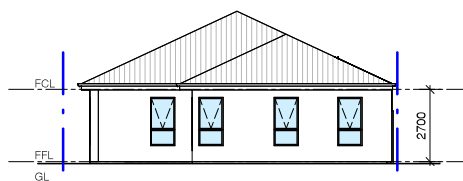
4 CONCEPT STREET ELEVATION_COUNTRY GABLES

SCALE: 1 : 200



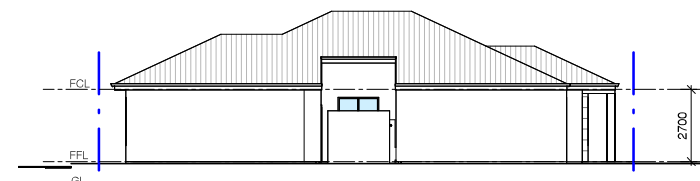
6 SIDE ELEVATION A_HIP

SCALE: 1 : 200



5 REAR ELEVATION_HIP

SCALE: 1 : 200

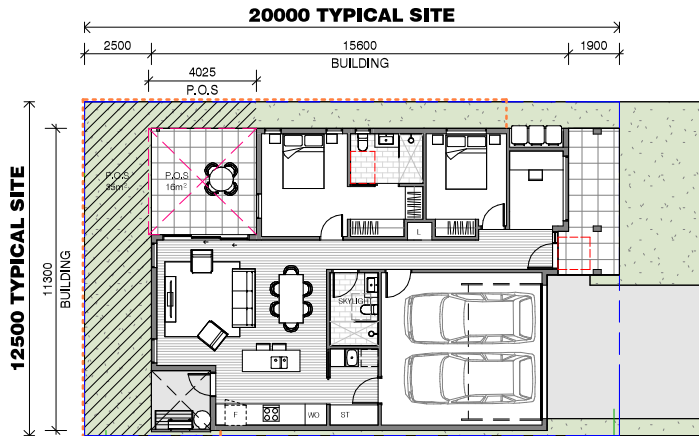


7 SIDE ELEVATION B_HIP

SCALE: 1 : 200

HOUSE TYPE 5

12.5M X 20M SITE



✂ PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m²
/// OTHER PRIVATE OUTDOOR SPACE = 35m²
TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 51m²
- - - INDICATIVE POSITION OF 1.8 METER HIGH FENCE

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 2 Bed
- 1 Study
- 2 Bath

APPROX AREA SUMMARY

Garage	37m ²
Internal	112m ²
Outdoor (Patio, Verandah & Court may be covered)	32m ²
TOTAL	181m²

Roof area of Hip (including eaves & verandahs)	203m ²
Typical internal site area	250m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.

1 HOUSE TYPE 5 - GENERAL ARRANGEMENT PLAN

SCALE: 1 : 200



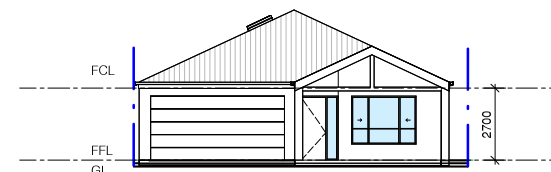
2 CONCEPT STREET ELEVATION_HIP

SCALE: 1 : 200



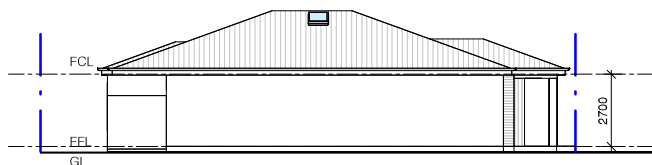
3 CONCEPT FRONT STREET ELEVATION- VINEYARD ARCH

SCALE: 1 : 200



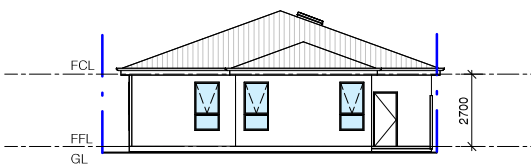
4 CONCEPT STREET ELEVATION_COUNTRY GABLE

SCALE: 1 : 200



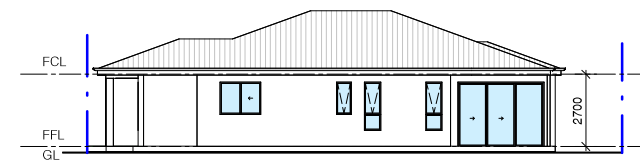
5 SIDE ELEVATION A_HIP

SCALE: 1 : 200



6 REAR ELEVATION_HIP

SCALE: 1 : 200

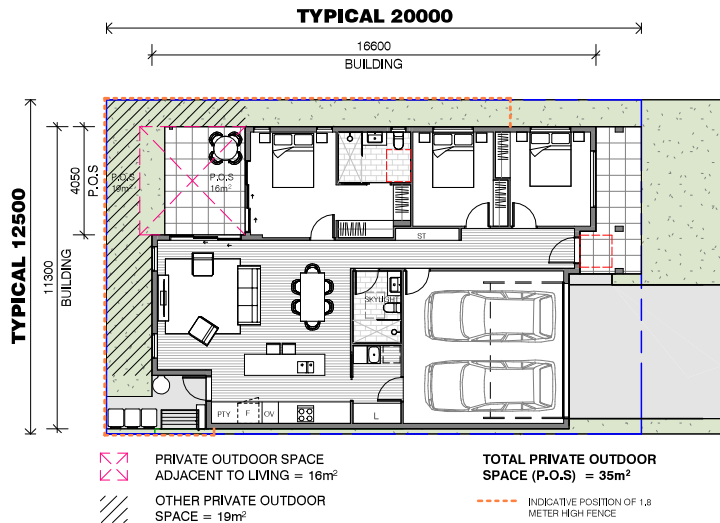


7 SIDE ELEVATION B_HIP

SCALE: 1 : 200

HOUSE TYPE 6

12.5M X 20M SITE



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m ²
Internal	128m ²
Outdoor (Patio, Verandah & Court, may be covered)	28m ²
TOTAL	193m²

Roof area of Hip (including eaves & verandahs)	211m ²
Typical internal site area	250m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

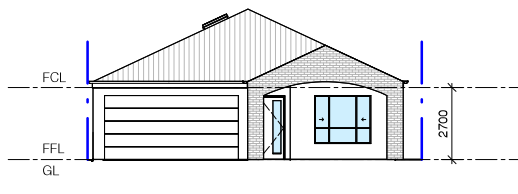
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

For specifications regarding bins, see Waste Management Plan.

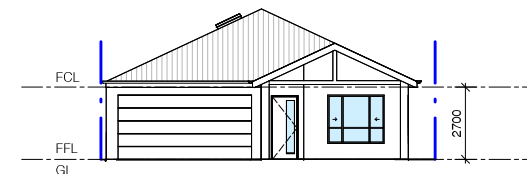
1 HOUSE TYPE 06 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



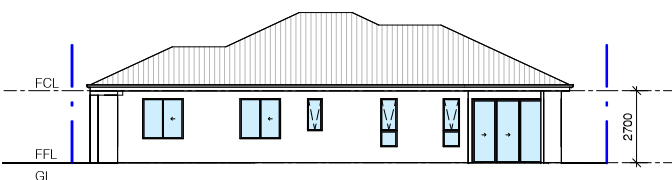
2 CONCEPT STREET ELEVATION_HIP
SCALE: 1 : 200



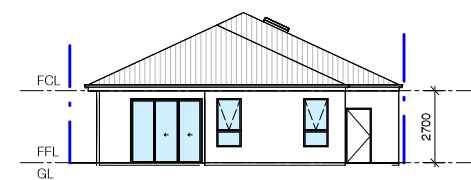
3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



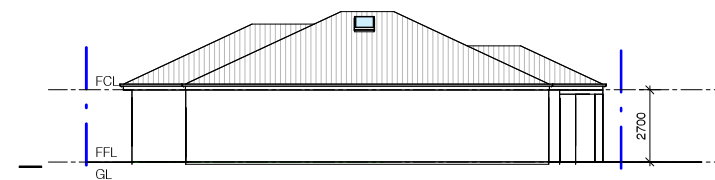
4 CONCEPT STREET ELEVATION_COUNTRY GABLES
SCALE: 1 : 200



5 SIDE ELEVATION A_HIP
SCALE: 1 : 200



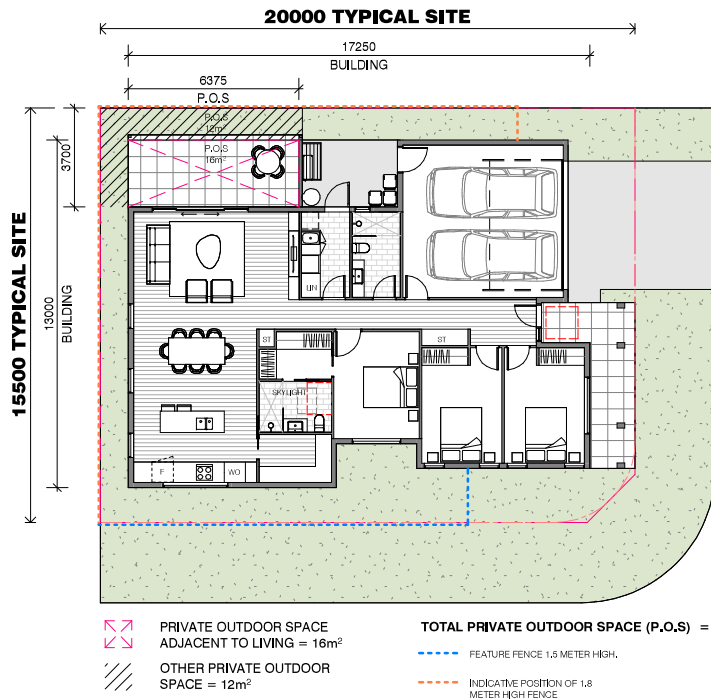
6 REAR ELEVATION_HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_HIP
SCALE: 1 : 200

HOUSE TYPE 7

15.5M X 20M SITE



1 TYPE 07 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200



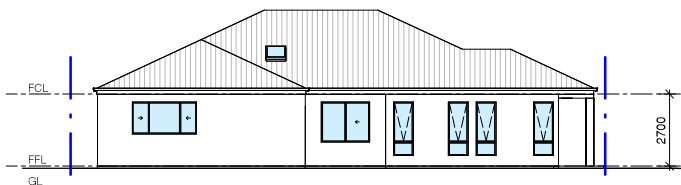
2 CONCEPT STREET ELEVATION_HIP
SCALE: 1 : 200



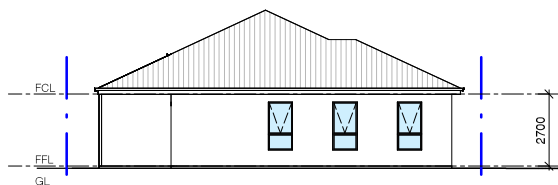
3 CONCEPT FRONT STREET ELEVATION - VINEYARD ARCH
SCALE: 1 : 200



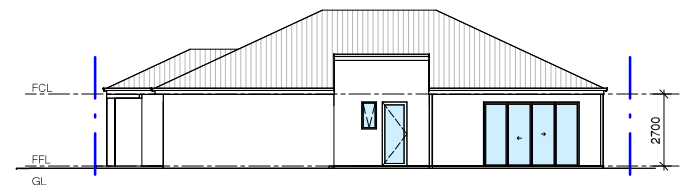
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_HIP
SCALE: 1 : 200



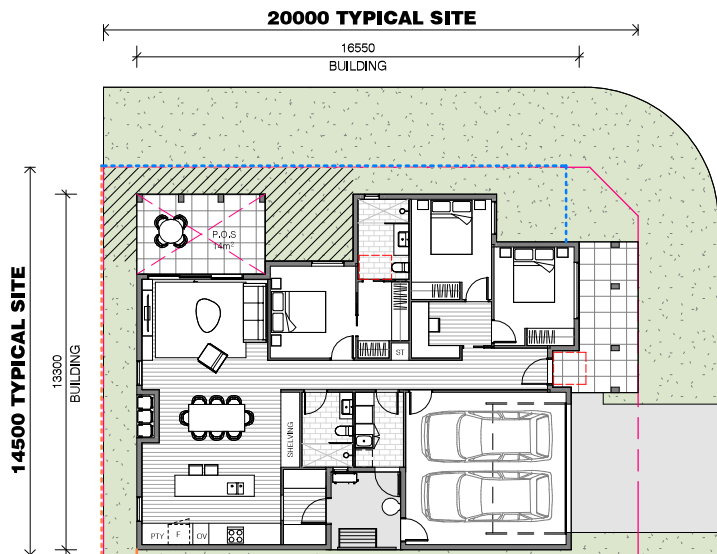
6 REAR ELEVATION_HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_HIP
SCALE: 1 : 200

HOUSE TYPE 8

14.5M X 20M SITE



- PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 14m²
- OTHER PRIVATE OUTDOOR SPACE = 20m²
- INDICATIVE POSITION OF 1.8 METER HIGH FENCE
- FEATURE FENCE 1.5 METER HIGH.
- TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 34m²**

1 HOUSE TYPE 08 - GENERAL ARRANGEMENT PLAN
SCALE: 1 : 200

INDICATIVE CORNER SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	37m ²
Internal	146m ²
Outdoor (Patio, Verandah & Court may be covered)	36m ²
TOTAL	219m²

Roof area of Hip (including eaves & verandahs)	243m ²
Typical internal site area	288m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments..

Corners, truncations and site specific variations will differ from typical internal sites.

Double car garage is min 6.0m x 5.5m

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

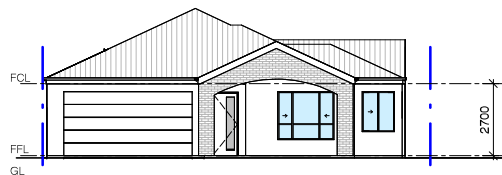
This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan.



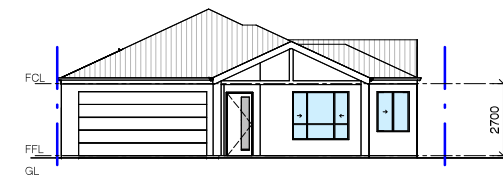
1:200 @ A3



2 CONCEPT STREET ELEVATION_HIP
SCALE: 1 : 200



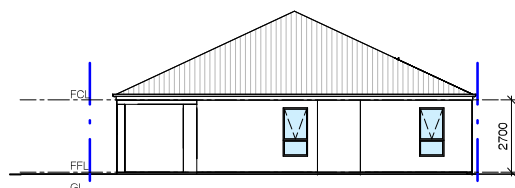
3 CONCEPT STREET ELEVATION_VINEYARD ARCH
SCALE: 1 : 200



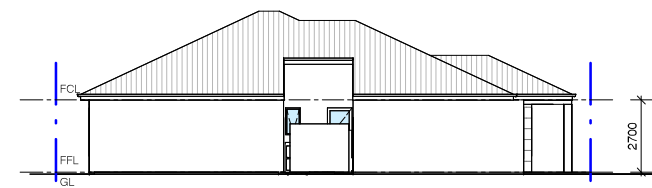
4 CONCEPT STREET ELEVATION_COUNTRY GABLE
SCALE: 1 : 200



5 SIDE ELEVATION A_HIP
SCALE: 1 : 200



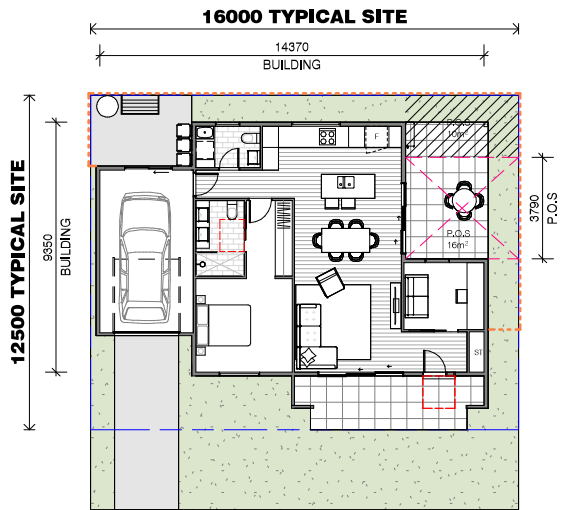
6 REAR ELEVATION_HIP
SCALE: 1 : 200



7 SIDE ELEVATION B_HIP
SCALE: 1 : 200

HOUSE TYPE 9

16M X 10M SITE



▤ PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 16m² **TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 26m²**
▤ OTHER PRIVATE OUTDOOR SPACE = 10m² **INDICATIVE POSITION OF 1.8 METER HIGH FENCE**

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 1 Car Garage
- 1 Bed
- 1 MPR
- 1.5 Bath

APPROX AREA SUMMARY

Garage	23 m ²
Internal	89m ²
Outdoor (Patio, Verandah & Court, may be covered)	35 m ²
TOTAL	147m²

Roof area (including eaves & verandahs)	155m ²
Typical internal site area	200m ²

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Corners, truncations and site specific variations will differ from typical internal sites.

Single car garage is min 6.0m x 3.5m.

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc.

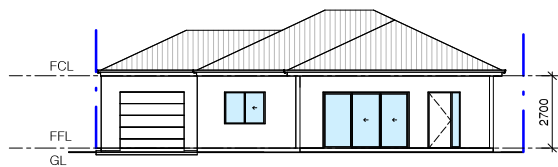
For specifications regarding bins, see Waste Management Plan.



1:200 @ A3

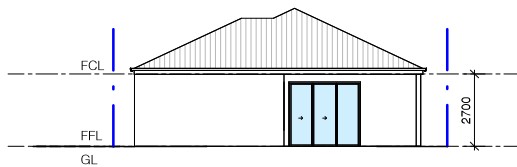
1 HOUSE TYPE 09 - GENERAL ARRANGEMENT PLAN

SCALE: 1 : 200



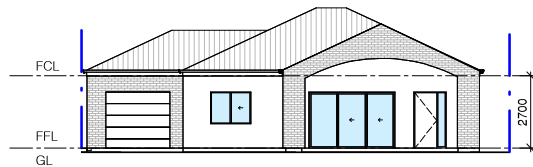
2 CONCEPT STREET ELEVATION - HIP

SCALE: 1 : 200



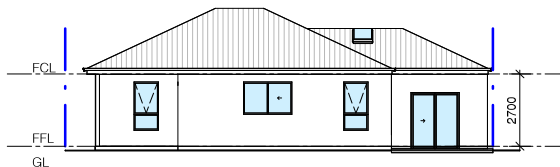
4 SIDE ELEVATION A- HIP

SCALE: 1 : 200



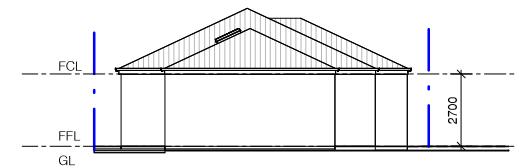
3 CONCEPT STREET ELEVATION -VINEYARD ARCH

SCALE: 1 : 200



5 REAR ELEVATION - HIP

SCALE: 1 : 200



6 SIDE ELEVATION B - HIP

SCALE: 1 : 200

HOUSE TYPE 10

SITE 103



TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 48m²
 PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 18m²
 OTHER PRIVATE OUTDOOR SPACE = 30m²

INDICATIVE POSITION OF 1.8 METER HIGH FENCE



INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	39m ²
Internal	130m ²
Outdoor (Patio, Verandah & Court may be covered)	32m ²
TOTAL	201m²

Roof area (including eaves & verandahs)	234m ²
Typical internal site area	412m ²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is minimum 5.5 x 6.0m

INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

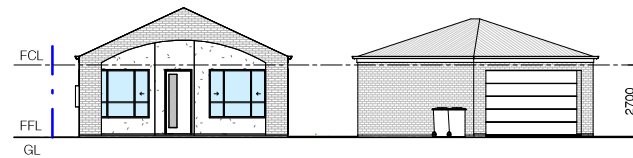
- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

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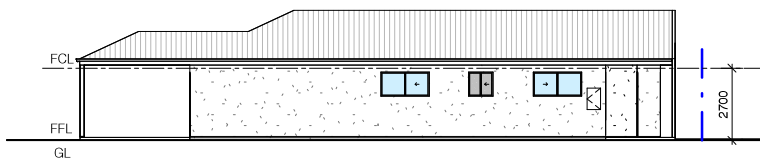
1 TYPE 10_SITE 103 - FLOOR PLAN

SCALE: 1 : 200



2 SITE 103 - STREET FRONT ELEVATION

SCALE: 1 : 200



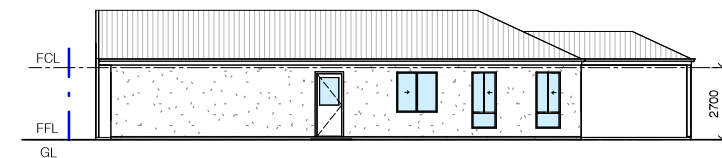
3 SITE 103 - SIDE ELEVATION A

SCALE: 1 : 200



4 SITE 103 - REAR ELEVATION

SCALE: 1 : 200



5 SITE 103 - SIDE ELEVATION B

SCALE: 1 : 200

HOUSE TYPE 10

SITE 106



TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 48m²

PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 18m²

OTHER PRIVATE OUTDOOR SPACE = 30m²

INDICATIVE POSITION OF 1.8 METER HIGH FENCE

1:200 @ A3 10m

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	39m ²
Internal	130m ²
Outdoor (Patio, Verandah & Court may be covered)	32m ²
TOTAL	201m²

Roof area (including eaves & verandahs)	234m ²
Typical internal site area	412m ²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is minimum 5.5 x 6.0m

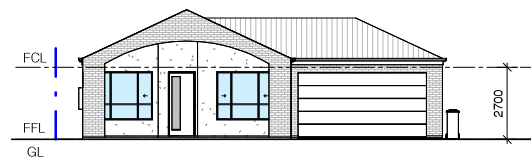
INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan. All Houses to have 3000 Litre water tank.

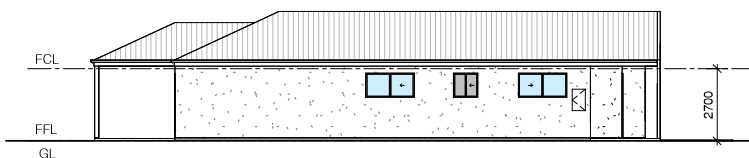


2 SITE 106 - STREET FRONT ELEVATION

SCALE: 1 : 200

1 TYPE 10 SITE 106 - FLOOR PLAN

SCALE: 1 : 200



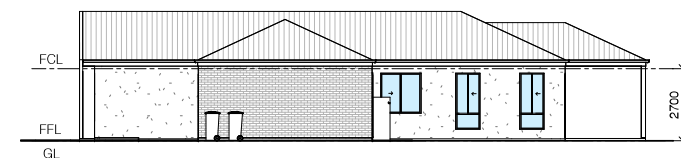
3 SITE 106 - SIDE ELEVATION A

SCALE: 1 : 200



4 SITE 106 - REAR ELEVATION

SCALE: 1 : 200

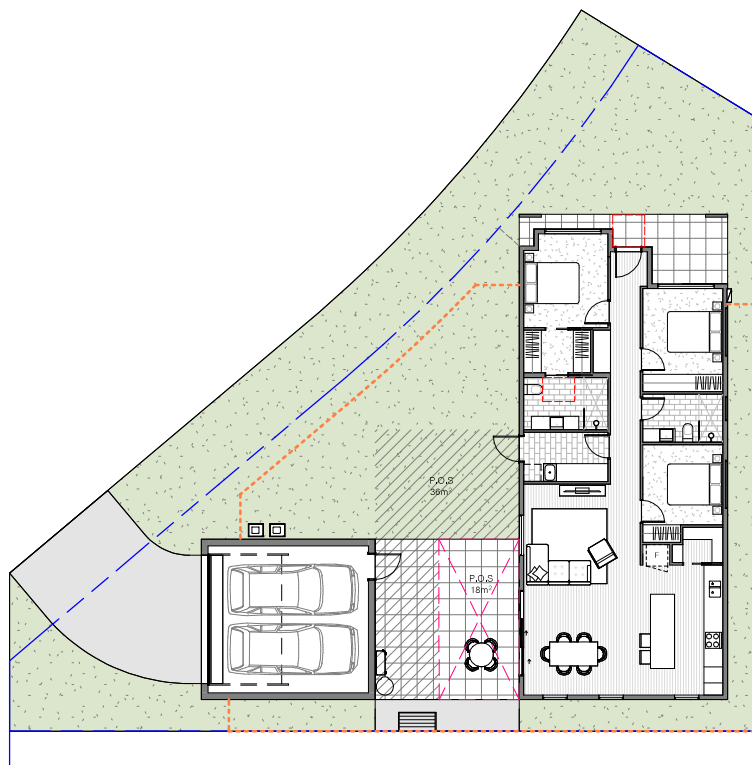


5 SITE 106 - SIDE ELEVATION B

SCALE: 1 : 200

HOUSE TYPE 10

SITE 110



TOTAL PRIVATE OUTDOOR SPACE (P.O.S) = 54m²

PRIVATE OUTDOOR SPACE ADJACENT TO LIVING = 18m²

OTHER PRIVATE OUTDOOR SPACE = 36m²

INDICATIVE POSITION OF 1.8 METER HIGH FENCE



1:200 @ A3

INDICATIVE INTERNAL SITE CONCEPT

PRODUCT SUMMARY

- 1 Storey
- 2 Car Garage
- 3 Bed
- 2 Bath

APPROX AREA SUMMARY

Garage	39m ²
Internal	130m ²
Outdoor (Patio, Verandah & Court may be covered)	32m ²
TOTAL	201m²

Roof area (including eaves & verandahs)	234m ²
Typical internal site area	412m ²

Corners, truncations and site specific variations will differ from typical internal sites.

Typical internal site sizes shown on plan are nominally minimum sizes but may be subject to lot specific adjustments.

Double car garage is minimum 5.5 x 6.0m

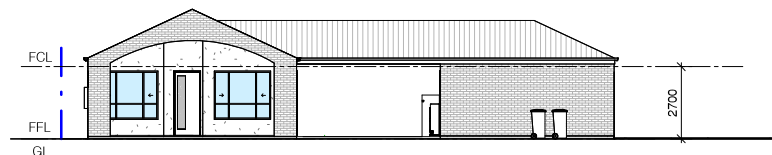
INDICATIVE EXTERNAL BUILDING MATERIALS AND FINISHES

May include:

- Timber - May be painted
- Painted Weatherboard.
- Painted / Coloured FC sheeting.
- Feature Brickwork.
- Metal Roof sheeting.
- Feature Stone Element.
- Painted Rendered Finish.

NOTE:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as patios, pergolas, verandahs etc. For specifications regarding bins, see Waste Management Plan. All Houses to have 3000 Litre water tank.

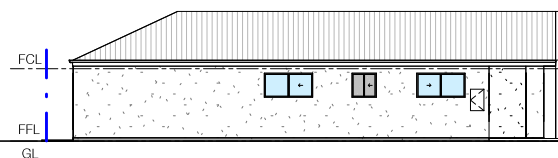


2 SITE 110 - STREET FRONT ELEVATION

SCALE: 1 : 200

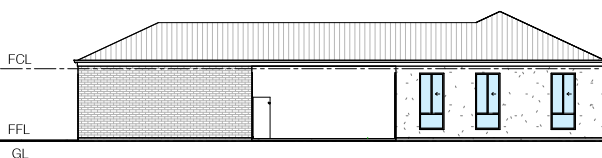
1 TYPE 10 SITE 110 - FLOOR PLAN

SCALE: 1 : 200



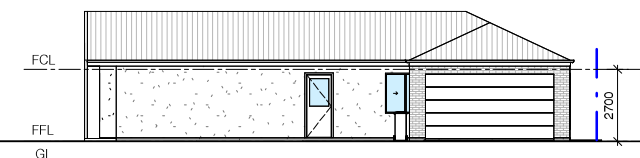
3 SITE 110 - SIDE ELEVATION A

SCALE: 1 : 200



4 SITE 110 - SIDE ELEVATION B

SCALE: 1 : 200



5 SITE 110 - GARAGE ENTRY ELEVATION

SCALE: 1 : 200

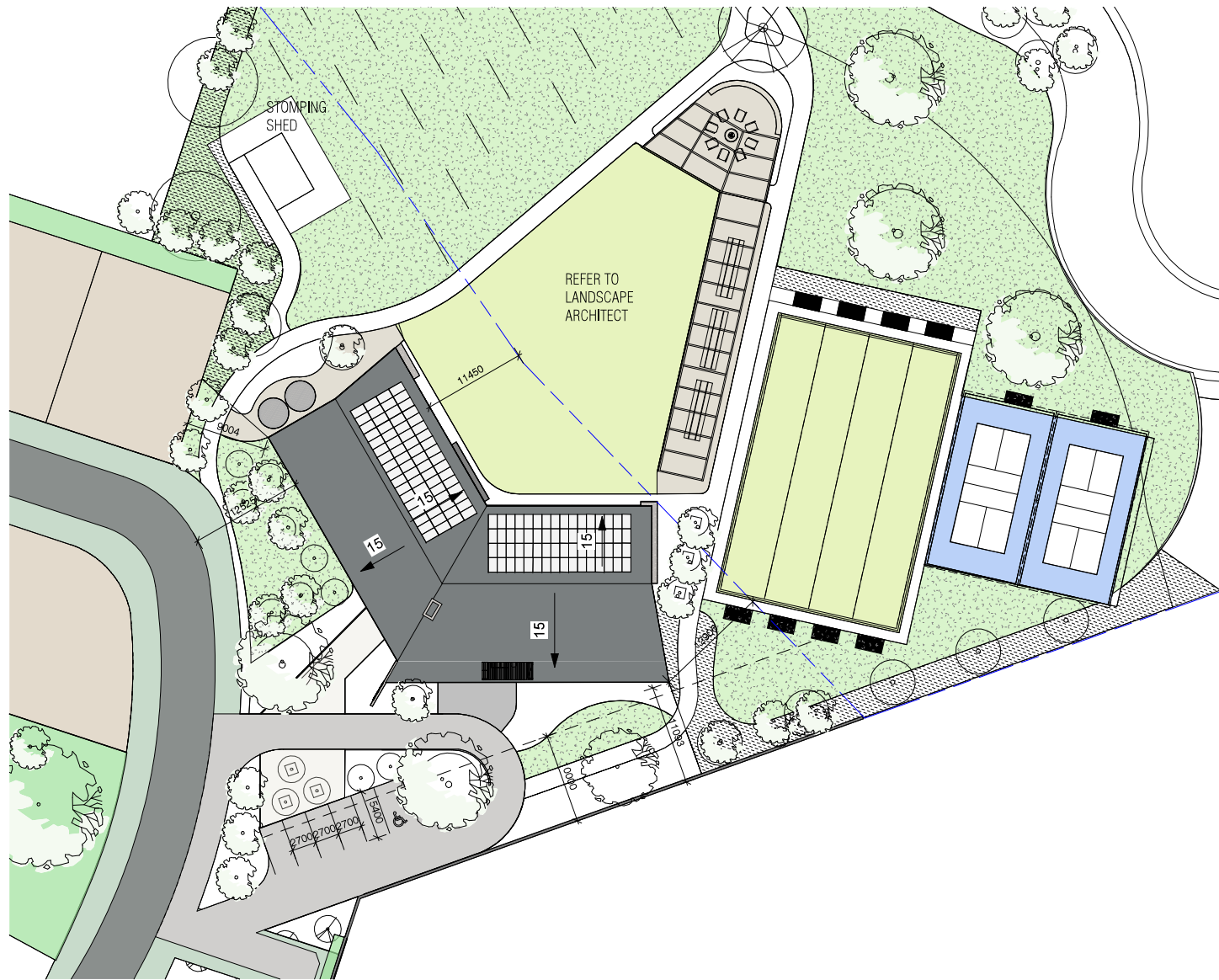


Community Facilities

Concept Designs

Site Plan

Clubhouse

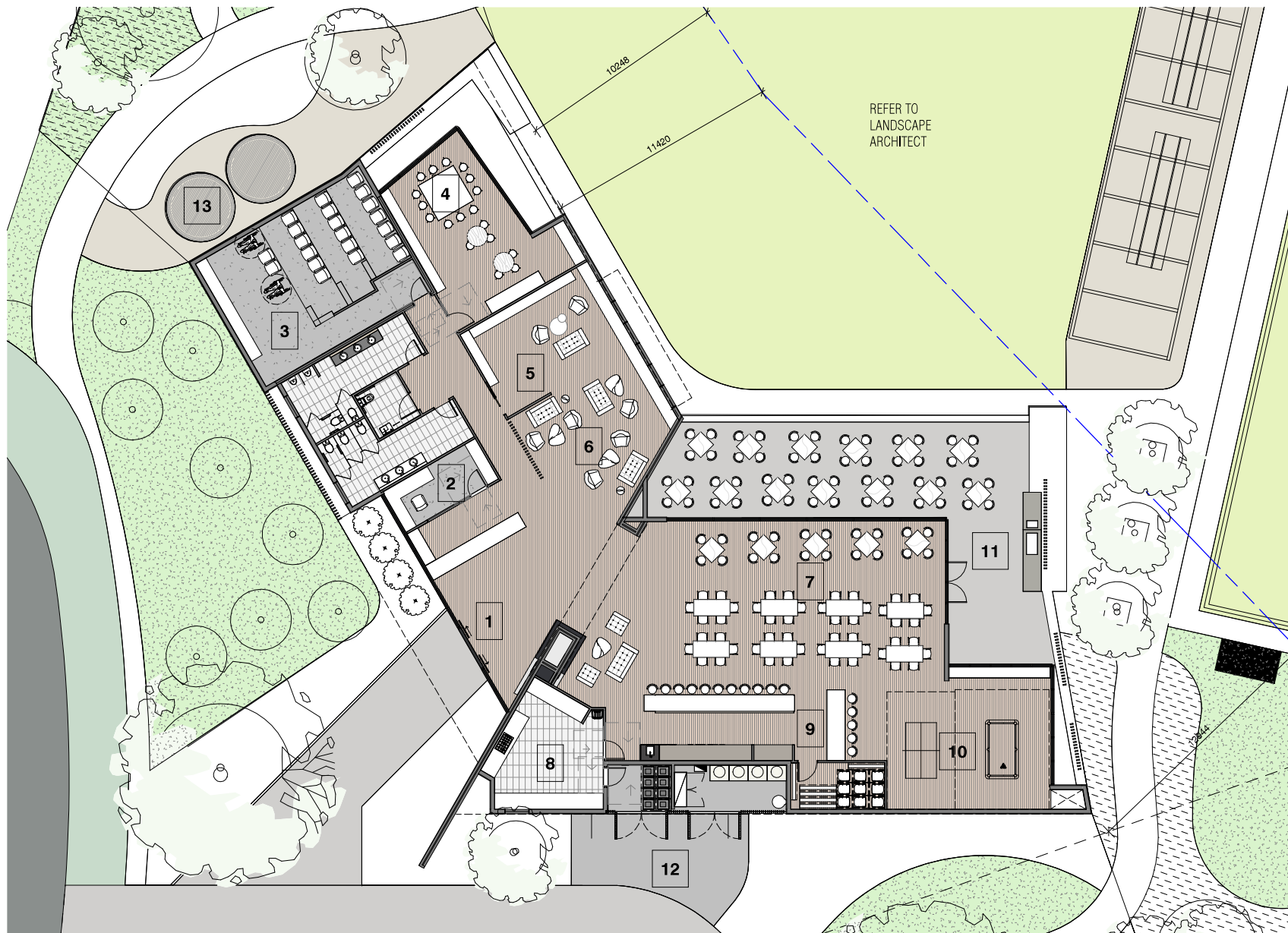


1:500 @ A3



Floor Plan

Clubhouse



LEGEND

- 1 ENTRY/ RECEPTION
- 2 ADMIN
- 3 CINEMA
- 4 ARTS AND CRAFTS
- 5 LIBRARY
- 6 LOUNGE
- 7 COMMUNITY SPACE/ DINING
- 8 BOH- KITCHEN
- 9 KITCHEN / BAR
- 10 GAMES/ MPR
- 11 BBQ / OUTDOOR DINING
- 12 BINS / SERVICES
- 13 WATER TANKS

THE CLUBHOUSE

The Clubhouse Precinct forms the heart of the project and welcomes both residents and visitors. A range of social activities and service functions occur within this precinct.

INDICATIVE MATERIALS PALETTE

Indicative external building materials may include

- Metal Wall Cladding
- Stone
- Timber posts
- Metal Roof Cladding

Colours will typically be earthy and natural types

GBA (GROSS BUILDING AREA)

LEVEL	AREA
ENTRY	9 m ²
SERVICES	24 m ²
OUTDOOR	126 m ²
INDOOR	654 m ²
GRAND TOTAL	813 m²

Note:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as Patios, Pergolas, verandahs, etc.

Note:

Each Water Tank capacity = 20 000 Litre.

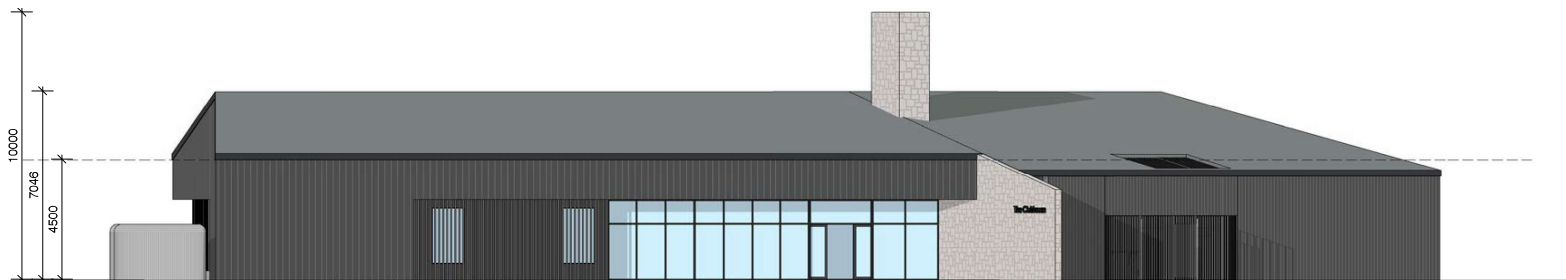


1:200 @ A3

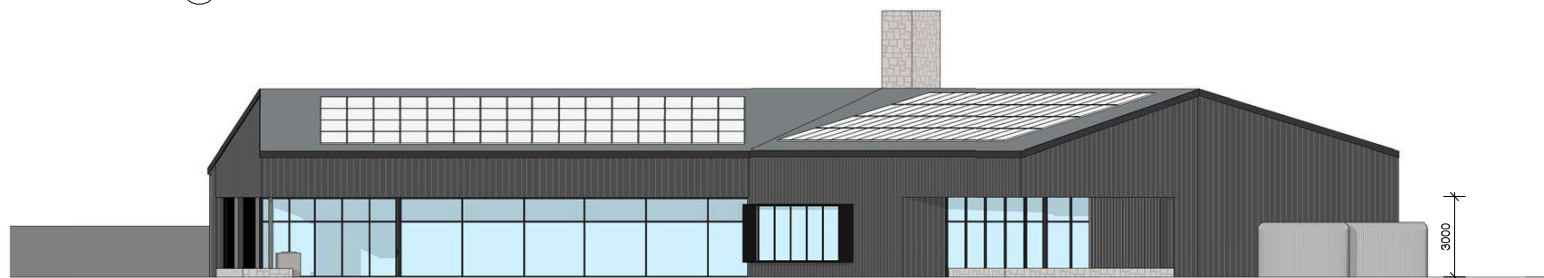


Elevations

Clubhouse



1 South Elevation
SCALE: 1 : 200



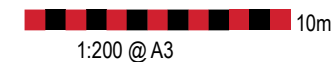
2 North Elevation
SCALE: 1 : 200



3 East Elevation
SCALE: 1 : 200

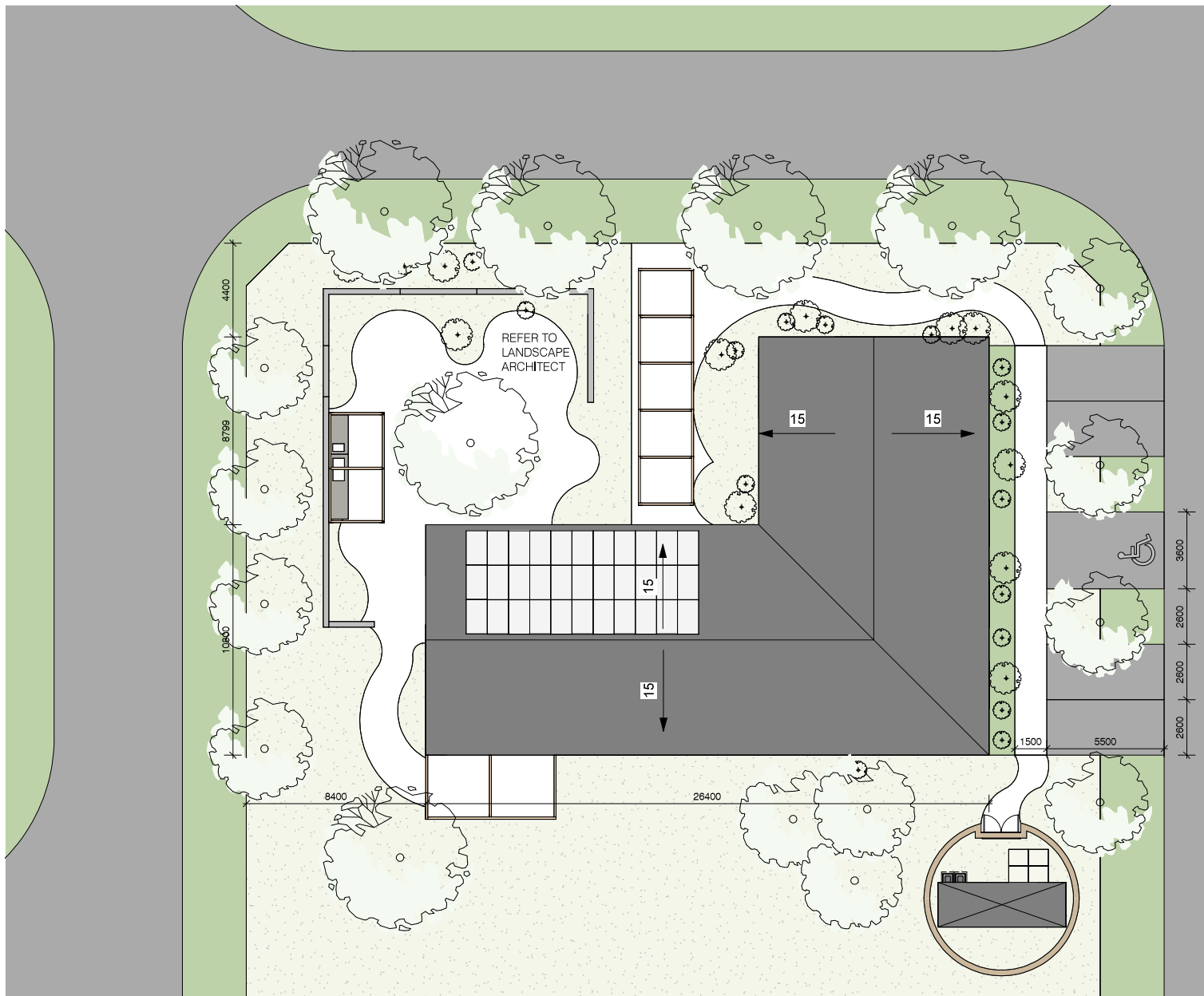


4 West Elevation
SCALE: 1 : 200



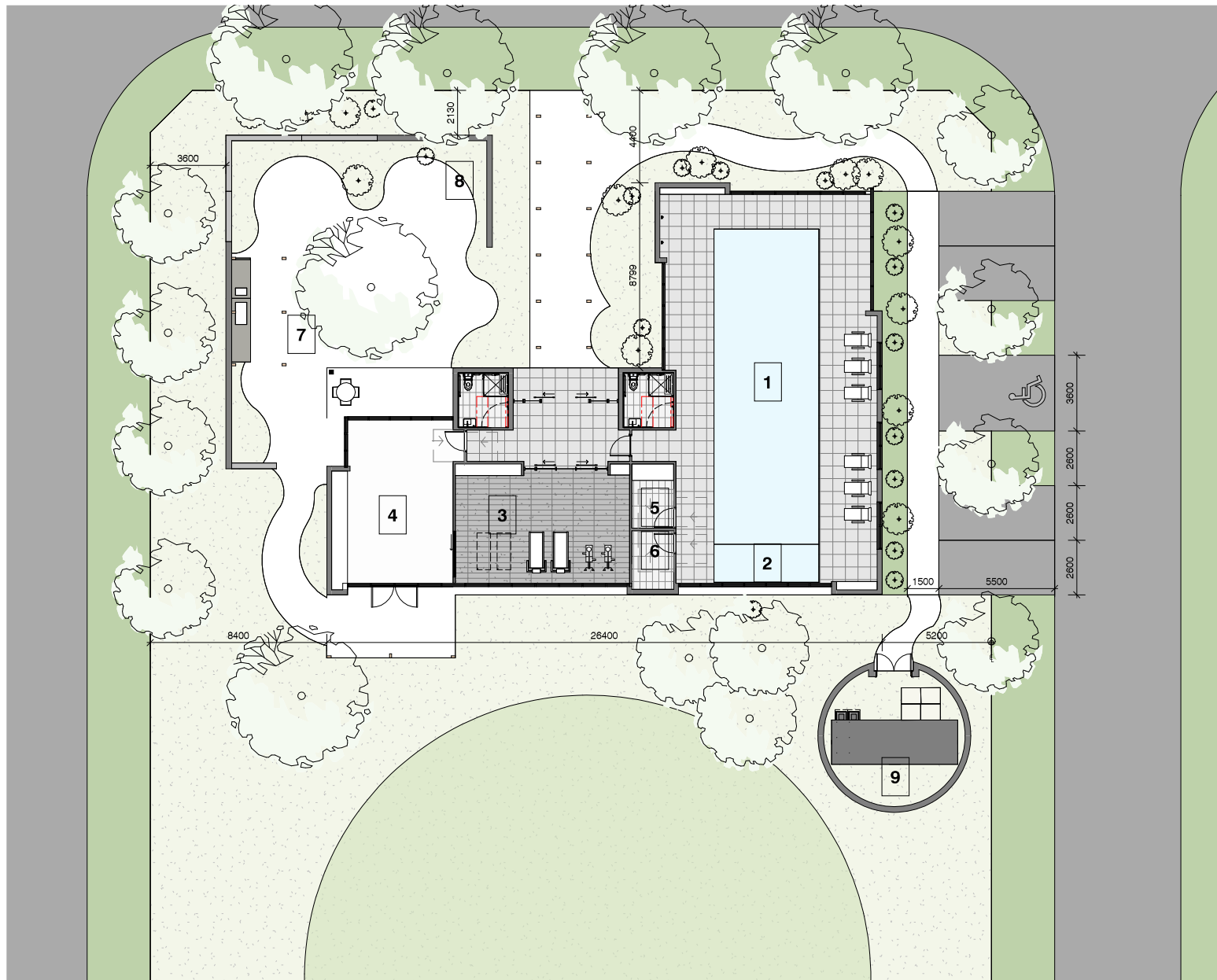
Site Plan

Wellness Centre



Floor Plan

Wellness Centre



LEGEND

- 1 SWIMMING POOL
- 2 SPA
- 3 GYM
- 4 MPR
- 5 SAUNA
- 6 STEAM
- 7 BBQ AREA
- 8 OUTDOOR SOCIAL SPACE
- 9 POOL EQUIPMENT SERVICES

THE WELLNESS CENTER

The Wellness Center is an essential part of the project and welcomes both residents and visitors. A range of fitness activities can occur within this precinct.

INDICATIVE MATERIALS PALETTE

- Indicative external building materials may include
- Metal Wall Cladding
 - Stone
 - Timber
 - Metal Roof Cladding
 - Brick

Colours will typically be earthy and natural types

Note:

This Concept Design, dimensions, materials and related information is indicative only and subject to further design development. Dimensions are typically for the main building structure only and do not necessarily include covered or open outdoor areas such as Patios, Pergolas, verandahs, etc.

Area Schedule (Gross Building)

Name	Area
Inside wellness	364 m ²
Pool services	41 m ²



1:200 @ A3



Elevations

Wellness Centre



1 NORTH ELEVATION
SCALE: 1 : 200



2 EAST ELEVATION
SCALE: 1 : 200



3 SOUTH ELEVATION
SCALE: 1 : 200



4 WEST ELEVATION
SCALE: 1 : 200







38 BREARS ROAD, YARRAWONGA 3750

Reduce width of raw water pipeline easement to 2m

Reduce width of raw water pipeline easement to 2m

Updated electrical easement depending on final electrical kiosk location

Removed electrical easement

Reduce width of raw water pipeline easement to 2m

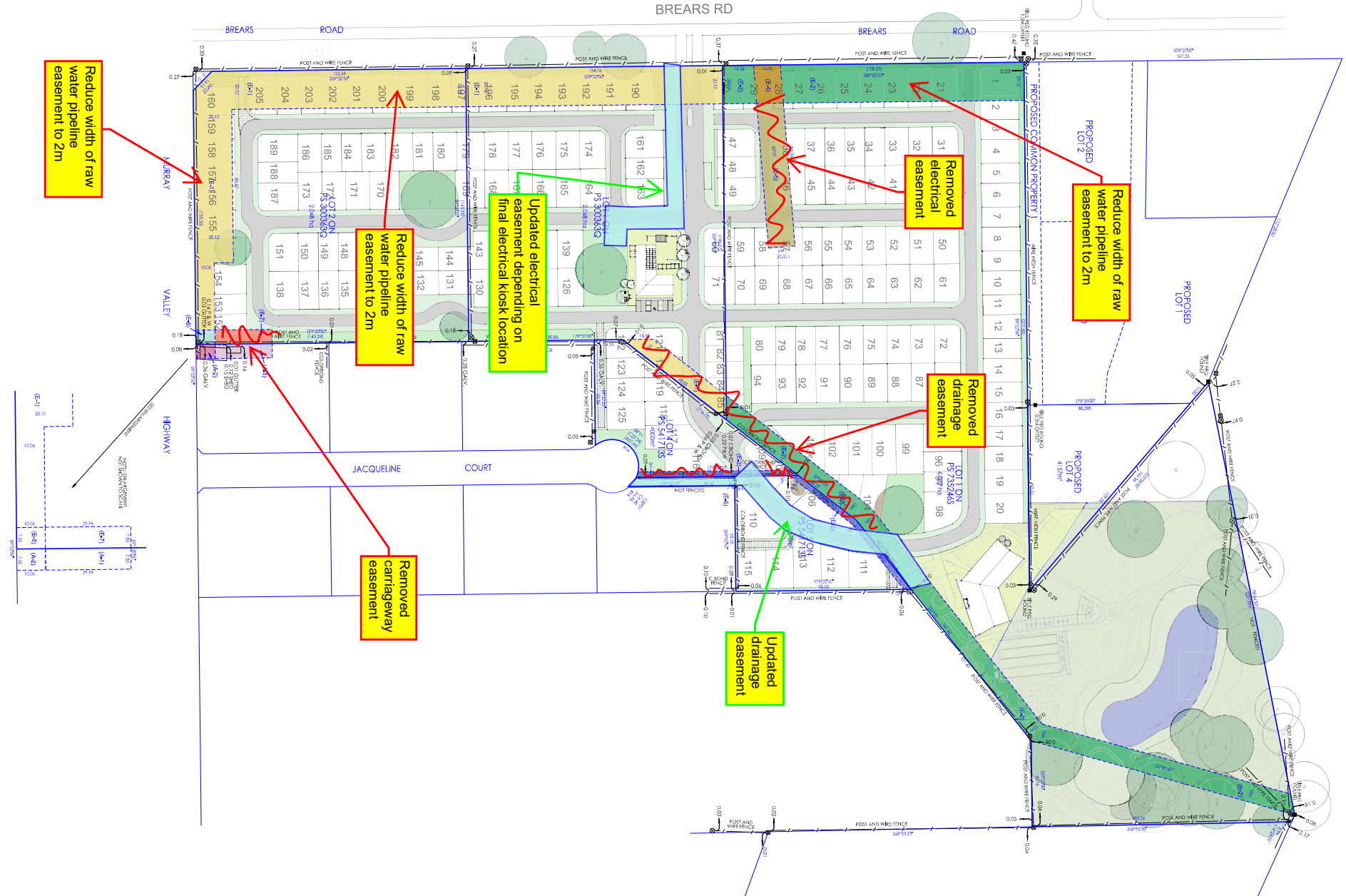
Removed drainage easement

Updated drainage easement

Removed carriage way easement

TITLE COMPILATION PLAN

BPDES PT D/200 - CIVIL ENGINEERS, LAND SURVEYORS, TOWN PLANNERS, SURVEYING ENGINEERS
1/179 CALDWELL STREET, MCKEADRA, VIC 3104. PH (03) 9492 2200. [WWW.BPD.COM.AU](http://www.bpd.com.au)
BPD 2020/02/01
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BPD 2020/02/01



NOTATIONS

ALL INFORMATION CONTAINED HEREIN IS FOR GUIDANCE ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL OPINION OR A PROFESSIONAL DESIGN. THE USER OF THIS INFORMATION ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION AND FOR THE CONSEQUENCES OF ANY RELIANCE THEREON. THE USER OF THIS INFORMATION RELEASES AND AGREE TO HOLD BPD DESIGN CONSULTANTS INC. HARMLESS FROM AND AGAINST ALL SUCH LIABILITY AND DAMAGES, INCLUDING REASONABLE COSTS AND EXPENSES, THAT MAY BE INCURRED BY OR FOR BPD DESIGN CONSULTANTS INC. IN CONNECTION WITH THE PROVISION OF THESE SERVICES.

PARCEL IDENTIFICATION

ADDITIONAL INFORMATION: PARCELS 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

ENCUMBRANCES

1. Easements:
- 1.1. 2m wide easement for power lines (E1)
- 1.2. 2m wide easement for water pipes (E2)
- 1.3. 2m wide easement for drainage (E3)
- 1.4. 2m wide easement for carriage way (E4)

LICENSED SURVEYOR CERTIFICATION

I, the undersigned, being a duly licensed surveyor, hereby certify that this plan, or map, or document is a true and correct copy of the original plan, or map, or document as filed in my office, and that the same has been examined and approved by me as such.

NO.	REVISIONS
1	ISSUED FOR PERMIT
2	REVISED TO SHOW ASSESSMENT
3	REVISED TO SHOW EASEMENTS
4	REVISED TO SHOW PROPOSED LOTS
5	REVISED TO SHOW PROPOSED EASEMENTS
6	REVISED TO SHOW PROPOSED ROAD
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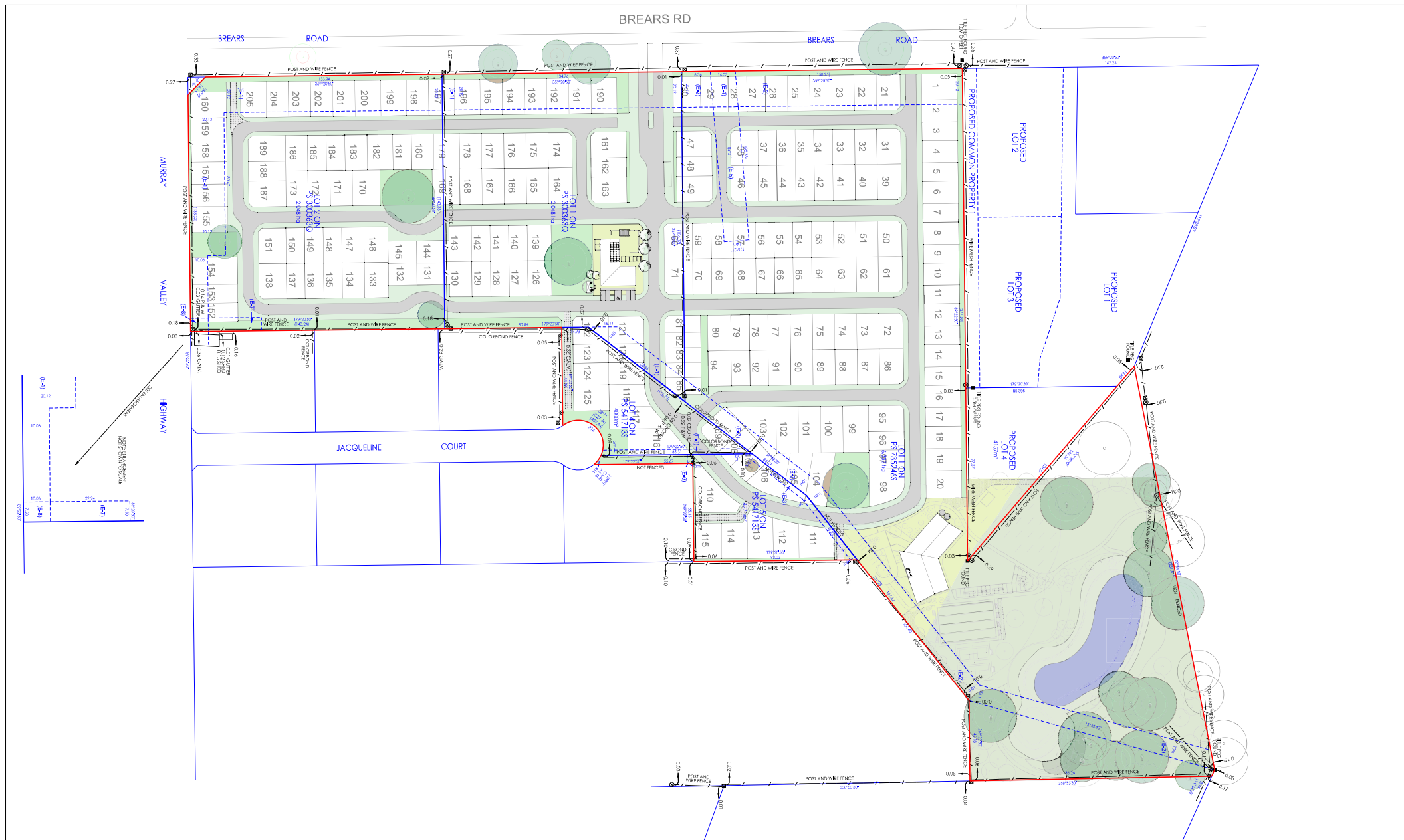
BPD REF: 10894

38 BREARS ROAD, YARRAWONGA 3750



TITLE COMPILATION PLAN

BREARS PT DIVISION - CIVIL ENGINEERS, LAND SURVEYORS, TOWN PLANNERS, IRRIANAL DESIGNERS
1/19 CALD ST (MURRAY STREET), YARRAWONGA, VIC 3750. PH: (03) 8623 2200. WWW.BREARS.COM.AU



NOTATIONS
 ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.
 ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTRE OF THE ROAD UNLESS OTHERWISE STATED.
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ENCUMBRANCES
 THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS IDENTIFIED THE FOLLOWING ENCUMBRANCES:
 1. EASEMENT FOR SERVICES OVER THE SITE.
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LICENSED SURVEYOR CERTIFICATION
 I, THE SURVEYOR, HAVE CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAVE FOUND THAT THE INFORMATION PROVIDED TO ME IS TRUE AND CORRECT.
 I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND FOR THE ACCURACY OF THIS PLAN.
 THIS PLAN IS PROVIDED AS A SERVICE ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 THE SURVEYOR'S LIABILITY IS LIMITED TO THE COST OF THE SURVEY.
 THIS PLAN IS VALID FROM THE DATE OF ISSUE.
 THE SURVEYOR'S CONTACT DETAILS ARE:
 BREARS PT DIVISION - CIVIL ENGINEERS, LAND SURVEYORS, TOWN PLANNERS, IRRIANAL DESIGNERS
 1/19 CALD ST (MURRAY STREET), YARRAWONGA, VIC 3750. PH: (03) 8623 2200. WWW.BREARS.COM.AU

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR TENDERS	10/03/2023
2	REVISED PER COMMENTS	15/03/2023
3	REVISED PER COMMENTS	20/03/2023
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SHEET SIZE A1
 BPD REF: 10894