



Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Planning Enquiries
Phone: (03) 5871 9222
Web: www.moiravic.gov.au

The Land i

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 22	St. Name: Benalla Road
Suburb/Locality: Yarrawonga		Postcode: 3730

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.:	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.:
OR					
B	Crown Allotment No.: 8	Section No.: 61			
Parish/Township Name: Township of Yarrawonga, Parish of Yarrawonga					

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

Proposed 4 dwelling development

⚠ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

i Estimated cost of any development for which the permit is required *

Cost \$ 1,200,000	⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.
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Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant Land

Provide a plan of the existing conditions. Photos are also helpful.

Title Information i

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

No

Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:		
Title: Mr	First Name: Bruce	Surname: Mactier
Organisation (if applicable): Bruce Mactier Building Designers		
Postal Address: <small>If it is a P.O. Box, enter the details here.</small>		
Unit No.: 2	St. No.: 4	St. Name: Welford Street
Suburb/Locality: Shepparton	State: VIC	Postcode: 3630

Please provide at least one contact phone number *

Applicant information	
Business phone: (03) 5822 1255	Email: admin@brucemactier.com
Mobile phone:	Fax:

Contact *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*		Same as applicant <input checked="" type="checkbox"/>
Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address: <small>If it is a P.O. Box, enter the details here:</small>		
Unit No.:	St. No.:	St. Name:
Suburb/Locality:	State:	Postcode:

Please provide at least one contact phone number *

Contact person's information	
Business phone:	Email:
Mobile phone:	Fax:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:			Same as applicant <input type="checkbox"/>
Title:	First Name:	Surname:	
Organisation (if applicable) <i>Rural Housing Network</i>			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.: <i>4</i>	St. No.: <i>111-113</i>	St. Name: <i>Hume Street</i>	
Suburb/Locality: <i>Wodonga</i>	State: <i>VIC</i>	Postcode: <i>3690</i>	
Owner's Signature (Optional):		Date:	
		day / month / year	

Collection Statement

Your application and the personal information on this form is being collected by Moira Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*.

If the personal information is not provided in your application it may result in the application not being accepted, lapsing or being refused.

The personal information will be used for the following purposes:

- correspond with you about your planning permit application
- if necessary, notify affected parties who may wish to inspect your application, this may include, placing a notice of application on the subject site, sending a notice of application by post or on-line
- for any other directly related, or reasonably related purposes.

The information you provide will be made available:

- on-line on Council's website commencing from public notice of the application until the application process has concluded
- on Council's Planning Permit Application register
- to any person who may wish to inspect your application until the application process has concluded, including any review at the Victorian Civil and Administrative Tribunal
- to relevant officers within Council and other pertinent Government agencies directly involved in the Planning process
- to persons accessing information in accordance with the Public Records Act 1973, Planning and Environment Act 1987, the Freedom of Information Act 1982 or
- if required by other law.

You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

You can find out more about how we protect your information by viewing our Privacy Statement on our website www.moira.vic.gov.au. If you wish to access or alter any of the personal information you have provided, please contact Council (03) 5871 9222 or email info@moira.vic.gov.au.


Acknowledgement

I acknowledge that I have read the above collection statement.



Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Date: 19/10/2023
day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

 No Yes

If 'Yes', with whom?:

Date:


day / month / year

Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Council fees are available @ www.moiravic.gov.au.

Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example; traffic, noise, environmental impacts).

Completed the relevant council planning permit checklist?

Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Moira Shire Council
PO Box 578
Cobram VIC 3643
44 Station Street
Cobram VIC 3644

Contact information:

Phone: (03) 5871 9222
Email: info@moiravic.gov.au
DX: 37801

Deliver application in person, by post or by electronic lodgement.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 05136 FOLIO 167

Security no : 124109895985V
Produced 19/10/2023 09:56 AM

CROWN GRANT

LAND DESCRIPTION

Crown Allotment 8 Section 61 Township of Yarrawonga Parish of Yarrawonga.

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

RURAL HOUSING NETWORK LTD of LEVEL 4 111-113 HUME STREET WODONGA VIC 3690
AX197306A 28/08/2023

ENCUMBRANCES, CAVEATS AND NOTICES

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below.
For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP278178Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX197305C (E)	DISCHARGE OF MORTGAGE	Registered	28/08/2023
AX197306A (E)	TRANSFER	Registered	28/08/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 22 BENALLA ROAD YARRAWONGA VIC 3730

ADMINISTRATIVE NOTICES

NIL

eCT Control 18119W HARRIS LIEBERMAN SOLICITORS PTY LTD
Effective from 28/08/2023

DOCUMENT END

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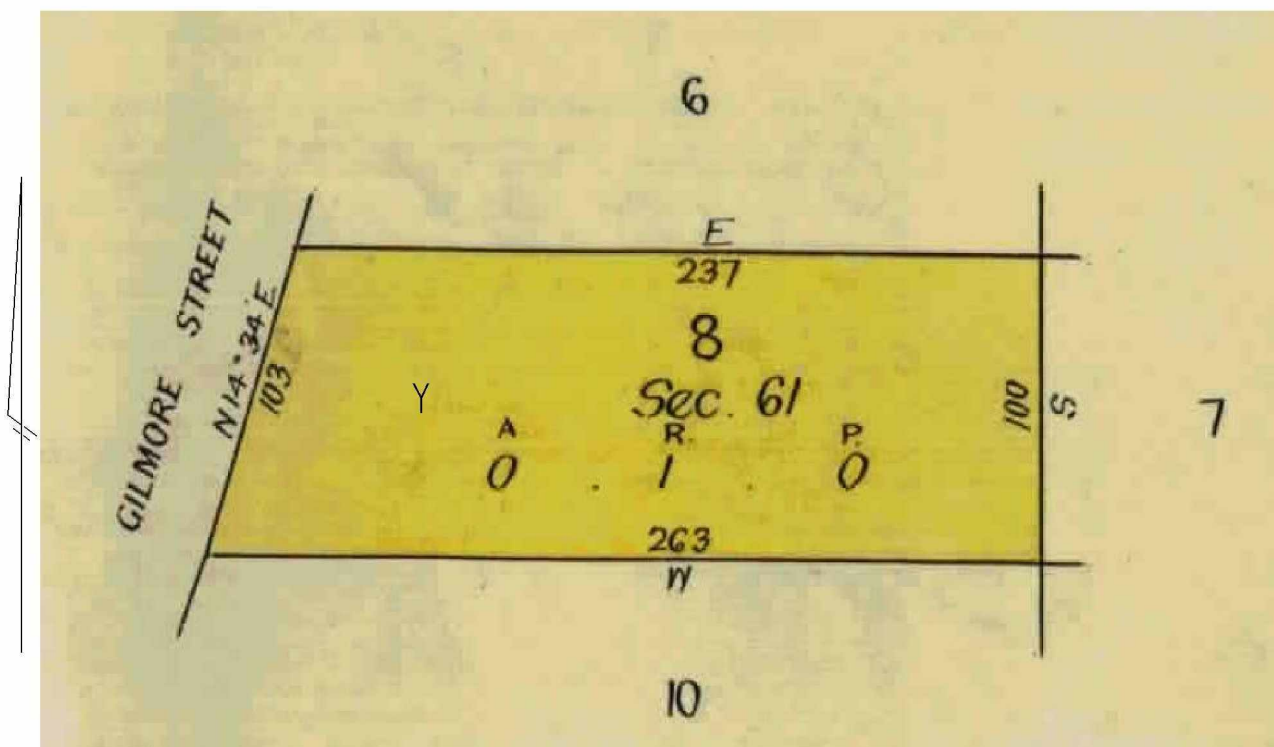
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	TITLE PLAN	EDITION 1	TP 278178Q
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<p>Location of Land</p> <p>Parish: YARRAWONGA Township: YARRAWONGA Section: 61 Crown Allotment: 8 Crown Portion:</p> <p>Last Plan Reference: Derived From: VOL 5136 FOL 167 Depth Limitation: 50 FEET</p>	<p style="text-align: center;">Notations</p> <p>SUBJECT TO THE RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 5136 FOL. 167 AND NOTED ON SHEET 2 OF THIS PLAN</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
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<p>Description of Land / Easement Information</p>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 18/01/2000 VERIFIED: GB</p>
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COLOUR CODE
Y = YELLOW



TITLE PLAN		TP 278178Q
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**LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS
CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT**

III THAT PIECE OF LAND in the said State

containing *one rood more or less being Allotment eight of Section sixty one in the Town of Yarrawonga Parish of Yarrawonga County of Moira*

delineated with the measurements and abutments thereof in the map drawn in the margin of these presents and therein coloured yellow PROVIDED nevertheless that the grantee shall be entitled to sink wells and to the use and enjoyment of the wells or springs of water upon or within the boundaries of the said land for any and for all purposes as though he held the land without limitation as to depth EXCEPTING nevertheless unto Us Our heirs and successors all gold and silver and auriferous and argentiferous earth and stone and all mines seams lodes and deposits containing gold silver copper tin antimony coal and other metals and minerals and mineral ores in upon or under or within the boundaries of the land hereby granted AND ALSO reserving to Us Our heirs and successors free liberty and authority for Us Our heirs and successors and Our and their licensees agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold silver copper tin antimony coal and all other metals and minerals and mineral ores and to extract and remove therefrom any gold silver and any auriferous and argentiferous earth or stone copper tin antimony coal and other metals and minerals and mineral ores and to search for and work dispose of and carry away the gold silver copper tin antimony coal metals minerals and their ores lying in upon or under the land hereby granted and for the purposes aforesaid to sink shafts make drives erect machinery and to carry on any works and do any other things which may be necessary or usual in mining and with all other incidents that are necessary to be used for the getting of the said gold silver copper tin antimony coal and other metals and minerals and mineral ores and the working of all mines seams lodes and deposits containing gold silver copper tin antimony coal and other metals and minerals and mineral ores in upon or under the land hereby granted

PROVIDED ALWAYS that the said land is and shall be subject to be resumed for mining purposes under Section 168 of the *Land Act* 1915.

AND PROVIDED also that the said land is and shall be subject to the right of any person being the holder of a miner's right or of a licence to search for metals or minerals or of a mining or mineral lease to enter therein and to mine for gold silver copper tin antimony coal and other metals and minerals and mineral ores and to erect and to occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those on which the holder of a miner's right or of a mining or mineral lease had at the date of these presents the right to mine for gold and silver in and upon Crown lands. PROVIDED that compensation shall be paid to the said grantee

his heirs executors administrators assigns and transferees by such person for surface damage to be done to such lands by reason of mining thereon such compensation to be determined as provided for the time being by law for the case of land resumed for mining purposes and the payment thereof to be a condition precedent to such right of entry.

VIC Address Search: 22 Benalla Yarrawonga

Order Details

Volume/Folio	Address	Council Number	Land Description	Municipality	Status
5136/167	22 BENALLA ROAD, YARRAWONGA 3730	47001	CA 8 Section 61 Township of Yarrawonga Parish of Yarrawonga	MOIRA	OK

PRINTED ON 19/10/2023

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CLAUSE 55 REPORT

Version 2 - 15/11/2023

FOUR DWELLING DEVELOPMENT

Client: Beyond Housing
Site Address: CA 8 Sec 61, No. 22 Benalla Road,
Yarrowonga VIC 3730.

REPORT CONTENTS

TP01 - Index Page

Existing Conditions - Part A

TP02 - Town and Area Map
TP03 - Photos
TP04 - Site Context Plan

Design Solutions - Part B

TP05 - Design Response Plan
TP06 - 9am Overshadowing Diagram
TP07 - 12pm Overshadowing Diagram
TP08 - 3pm Overshadowing Diagram
TP09 - Overlooking Diagram
TP10 - Streetscapes
TP11 - Elevations
TP12 - Elevations
TP13 - Turning Circles
TP14 - Landscape Plan & Garden Areas
TP15 - Colour Schedule



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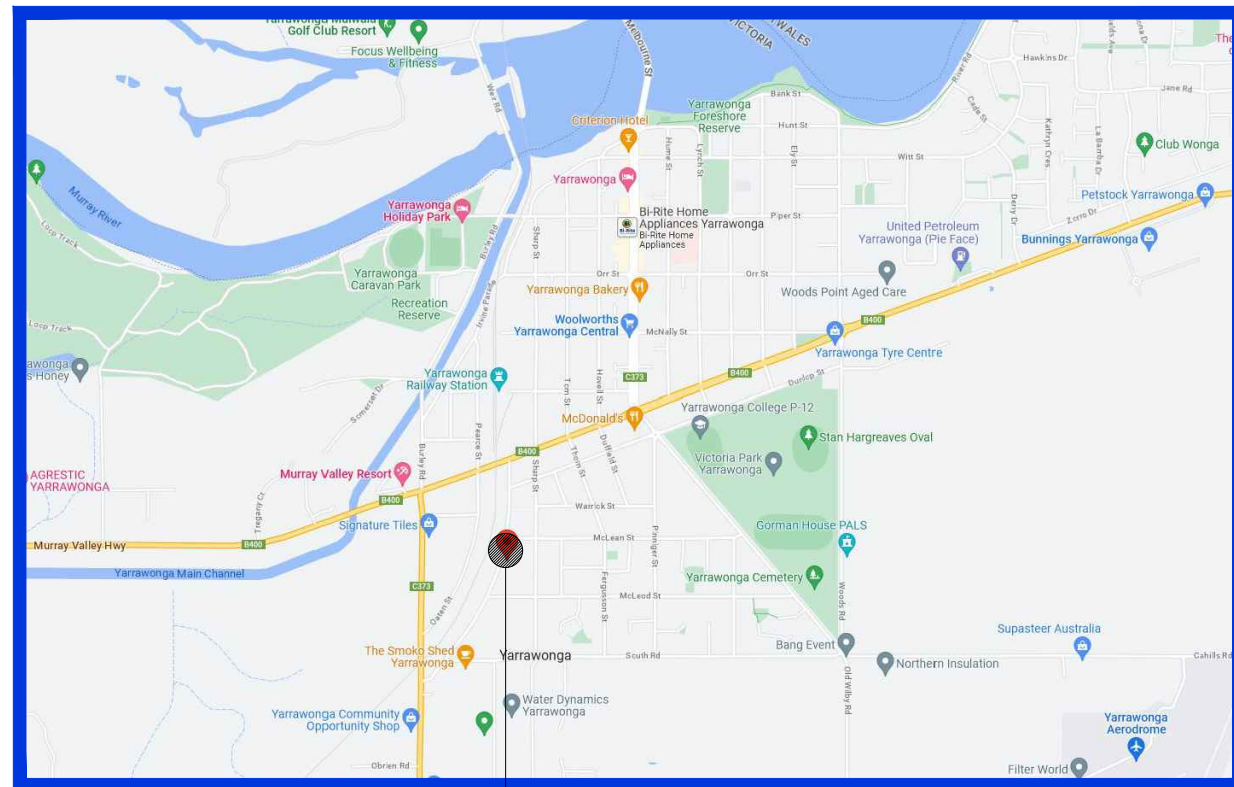
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Shepparton 3630
11-13 Sydney Street
Kilmore 3764

Telephone (03) 5822 1255
Email admin@brucemactier.com
Web www.brucemactier.com.au

EXISTING CONDITIONS - PART A

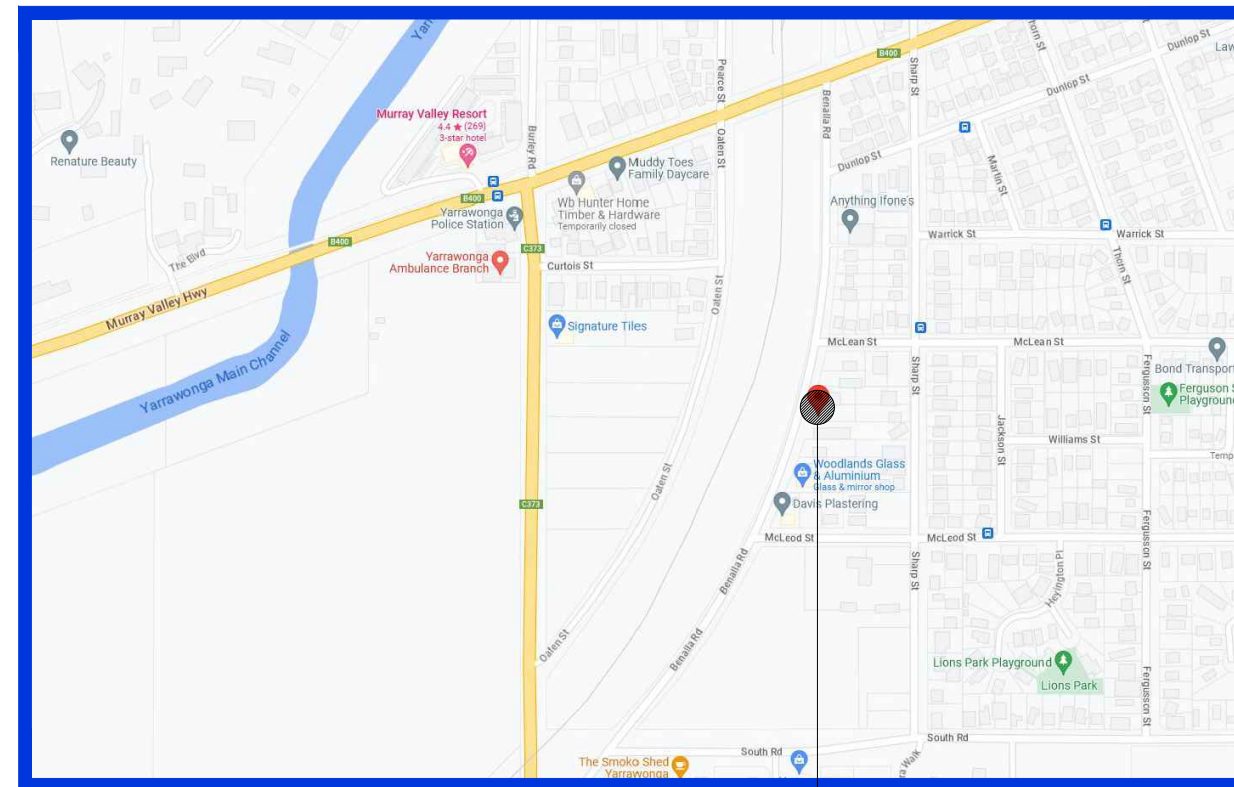
Town and Area Map

Issue Date
Version 2 - 15/11/2023
 Drawing Status
**Preliminary Only - Not
 For Construction**



Site Location

Town Map



Site Location

Area Map

CLIENT
 Beyond Housing

PROJECT
 Proposed Four Dwelling
 Development.
 CA 8 Sec 61, No. 22 Benalla Road,
 Yarrawonga, VIC, 3730.

DATE
 October 2023

DRAWN
 B. Saunders

DESIGN
 Client

CHECKED
 B. Mactier

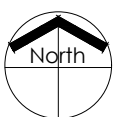
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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Town & Area Maps

SHEET NUMBER
 TP2 of 15

JOB NUMBER
 25129



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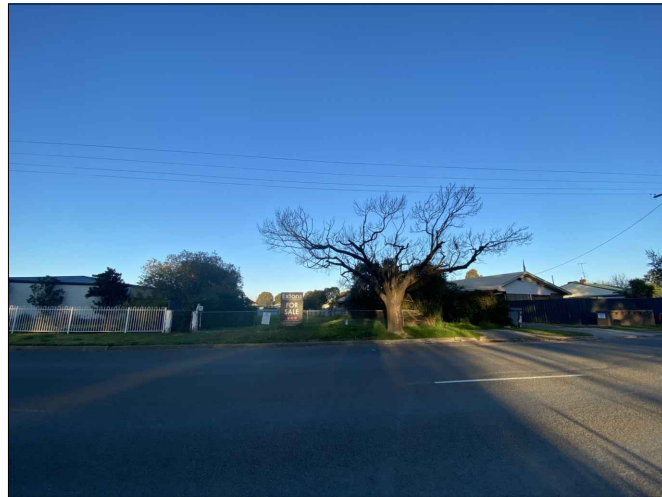
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**Town & Area
 Maps**

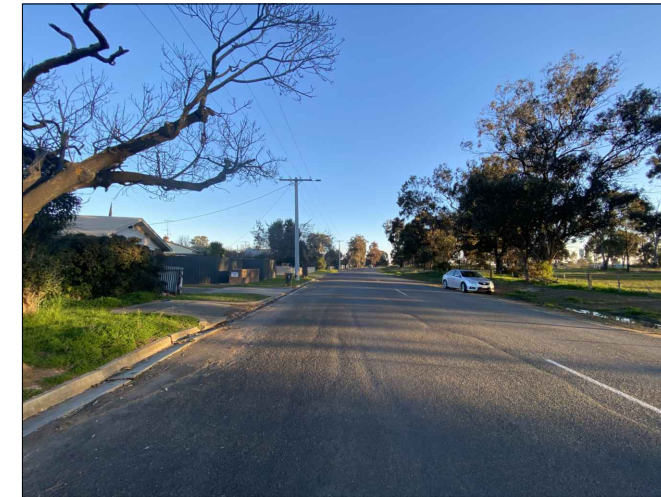
Photo Description



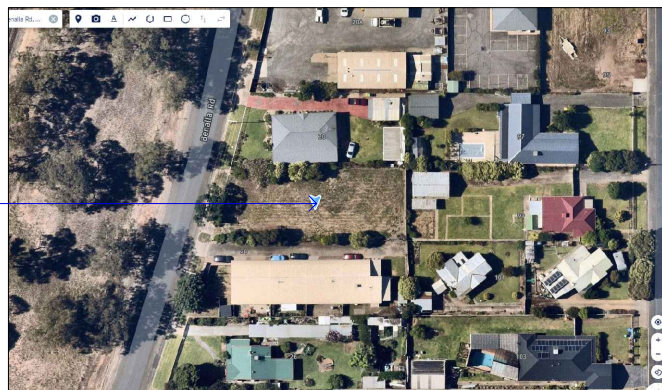
Front of subject site, No. 22 Benalla Road.



Looking North along Benalla Road from front of subject site.



Looking South along Benalla Road from front of subject site.



Site Location

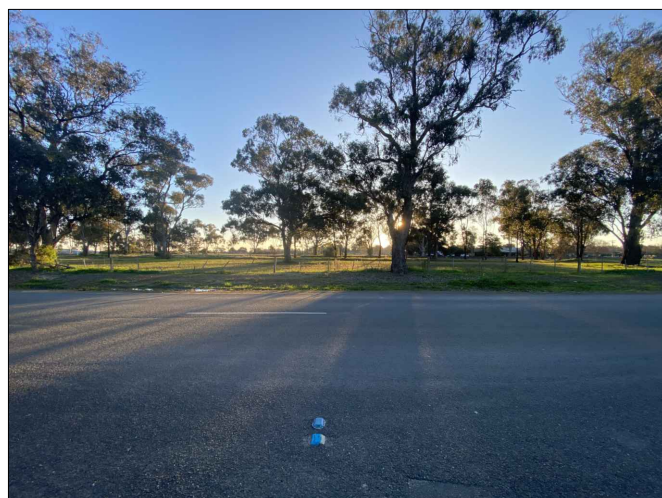
Aerial view of neighbourhood.



Neighbouring properties to the North - No. 20 Benalla Road.



Neighbouring properties to the South - No. 24 Benalla Road.



Looking West across Benalla Road from front of subject site.



Damaged crossover to subject site.



Looking East to rear of subject site.

Issue Date
Version 2 - 15/11/2023
 Drawing Status
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CLIENT
 Beyond Housing

PROJECT
 Proposed Four Dwelling Development.
 CA 8 Sec 61, No. 22 Benalla Road, Yarrowonga, VIC, 3730.

DATE
 October 2023

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DESIGN
 Client

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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Photos

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 TP3 of 15

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Photos

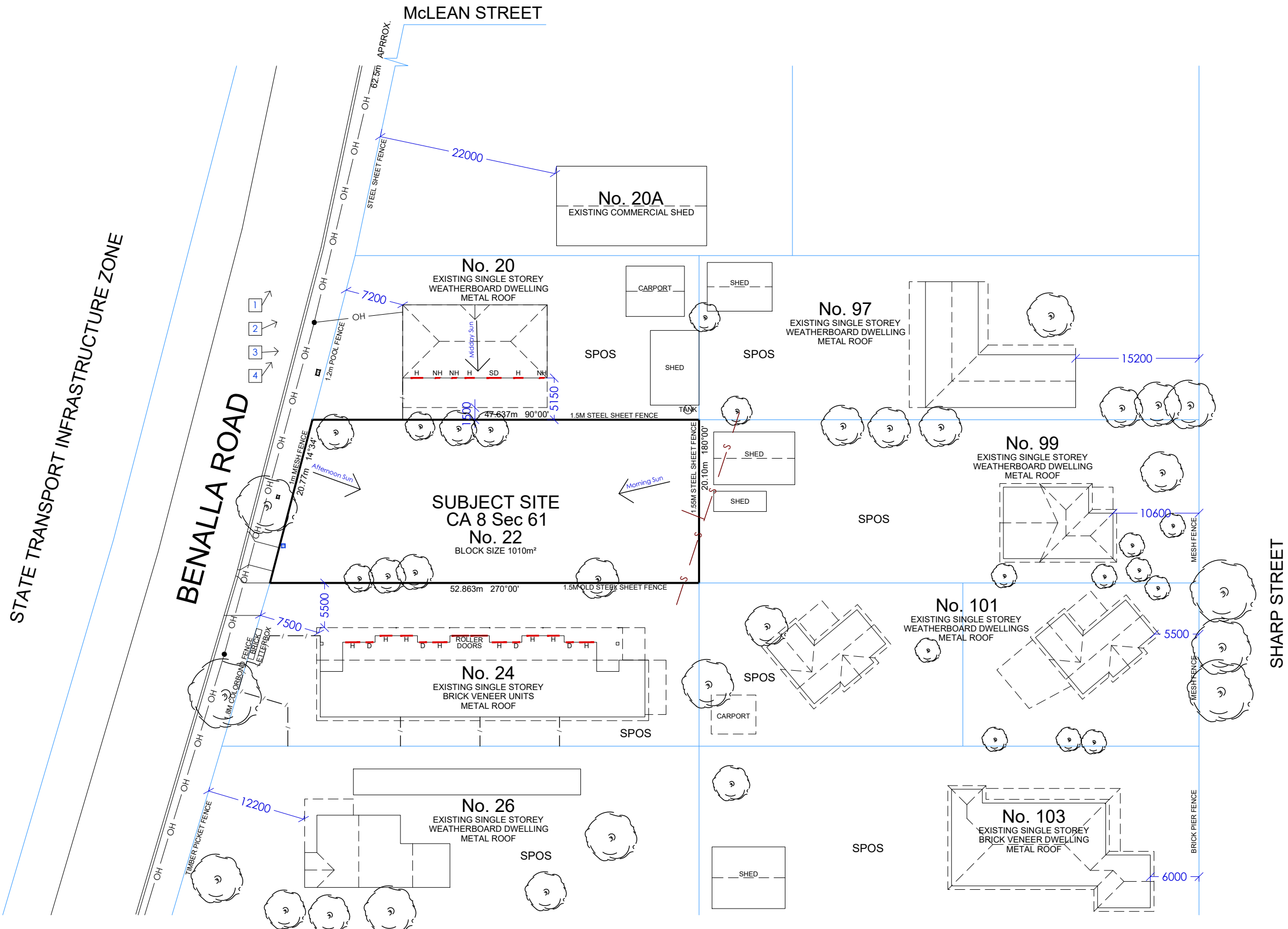
SITE CONTEXT PLAN

NEIGHBOURHOOD SITE DESCRIPTION

The homes in the area are predominantly older style weatherboard clad dwellings with metal roofs. They are predominantly single storey and roof shapes are either gable or hipped with eaves.

LEGEND:

- ALLOTMENT BOUNDARY
- OH — OVERHEAD POWERLINE
- POWER POLE
- S — SEWER MAIN
- W WATER TAP & METER
- H HYDRANT
- T TELSTRA PIT
- TREE
- WINDOW / DOOR
- H HABITABLE ROOM
- NH NON HABITABLE ROOM
- SPOS SECLUDED PRIVATE OPEN SPACE
- 1 YARRAWONGA TOWN CENTRE 1.4km
- 2 NEAREST BUS STOP ON SHARP STREET 210m
- 3 YARRAWONGA P-12 COLLEGE 1.0km
- 4 SUPERMARKET 1.2km



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Proposed Four Dwelling
Development.
CA 8 Sec 61, No. 22 Benalla Road,
Yarrowonga, VIC, 3730.

DATE
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Client

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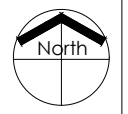
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REGISTRATION NUMBERS
VIC CDP-AD56576

DRAWING TITLE
Site Context Plan

SHEET NUMBER
TP4 of 15

JOB NUMBER
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Site Context
Plan

DESIGN SOLUTIONS - PART B

LEGEND:

- ALLOTMENT BOUNDARY
- OH — OVERHEAD POWERLINE
- POWER POLE
- S — SEWER MAIN
- W WATER TAP & METER
- H HYDRANT
- T TELSTRA PIT
- / - / - PROPOSED INTERNAL COLORBOND FENCING

DESIGN RESPONSE PLAN

- TREE
- WINDOW / DOOR
- H HABITABLE ROOM
- NH NON HABITABLE ROOM
- SPOS SECLUDED PRIVATE OPEN SPACE
- DENOTES EXTENT OF NEW CONCRETE PAVING
- ▨ DENOTES AREA OF SECLUDED PRIVATE OPEN SPACE (WITHIN PRIVATE OPEN SPACE)

NOTE:

- ALL UNITS TO HAVE ZERO STEP DOWN TO PORTICO PAVING WITH ZERO THRESHOLD TO FRONT DOOR
- ALL CONCRETE PATHS OF TRAVEL TO HAVE MAX. GRADIENT OF 1:14
- ALL UNITS TO HAVE PORTICO LIGHT WITH MOTION SENSOR.
- MINIMUM 1200 x 1200mm LANDING TO ALL PORTICOS.

SITE COVERAGE

Block Size	- 1010m ²
Maximum site coverage (60% max)	- 606m ²
Total Building Area (Dwellings 330.61 + carports 86.76 + sheds 13.68)	- 431.05m ²
Actual Site Coverage	- 42.68%

PERMEABILITY

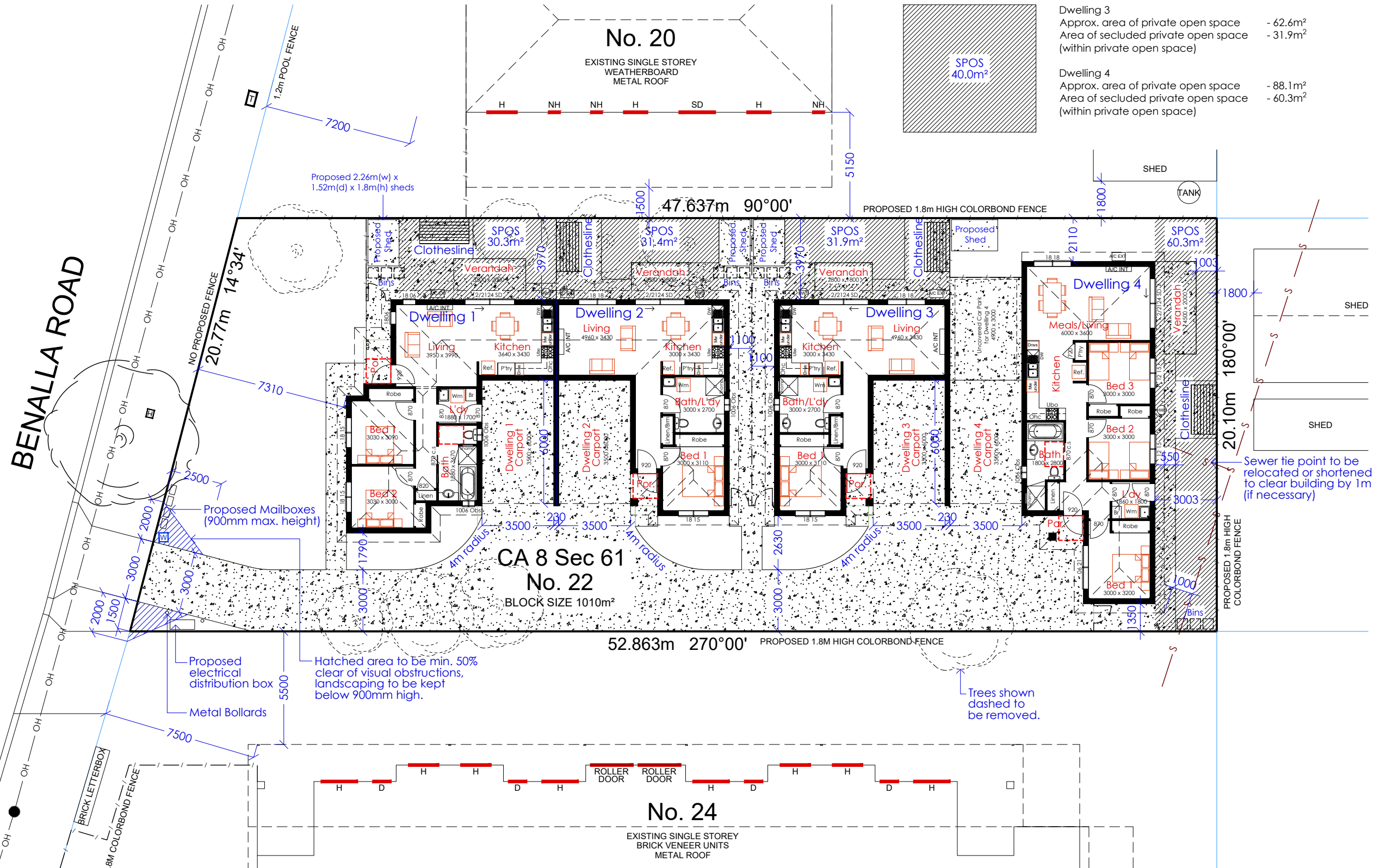
Minimum site permeability (20%)	- 202m ²
Total Building Area	- 431.05m ²
Concrete Areas	- 328.84m ²
Actual impermeable Coverage	- 75.99m ² or 75.24%
Actual Permeable Coverage	- 250.11m ² or 24.76%

HARD SURFACE AREAS

- Portico's	9.15 SQM
- Verandah's	26.08 SQM
- Carports	86.76 SQM
- Driveway & Carparks	215.70 SQM
- Footpaths	113.14 SQM
- Garden shed pads	13.68 SQM
- Total Concrete Area	464.51 SQM

PRIVATE OPEN SPACE

Dwelling 1	
Approx. area of private open space	- 184.1m ²
Area of secluded private open space (within private open space)	- 30.3m ²
Dwelling 2	
Approx. area of private open space	- 62.1m ²
Area of secluded private open space (within private open space)	- 31.4m ²
Dwelling 3	
Approx. area of private open space	- 62.6m ²
Area of secluded private open space (within private open space)	- 31.9m ²
Dwelling 4	
Approx. area of private open space	- 88.1m ²
Area of secluded private open space (within private open space)	- 60.3m ²



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CLIENT
 Beyond Housing
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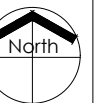
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REGISTRATION NUMBERS
 VIC CDP-AD56576

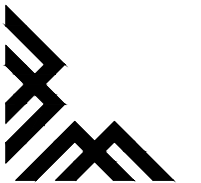
DRAWING TITLE
 Design Response Plan

SHEET NUMBER
 TP5 of 15

JOB NUMBER
 25129



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 11-13 Sydney Street
 Kilmore 3764

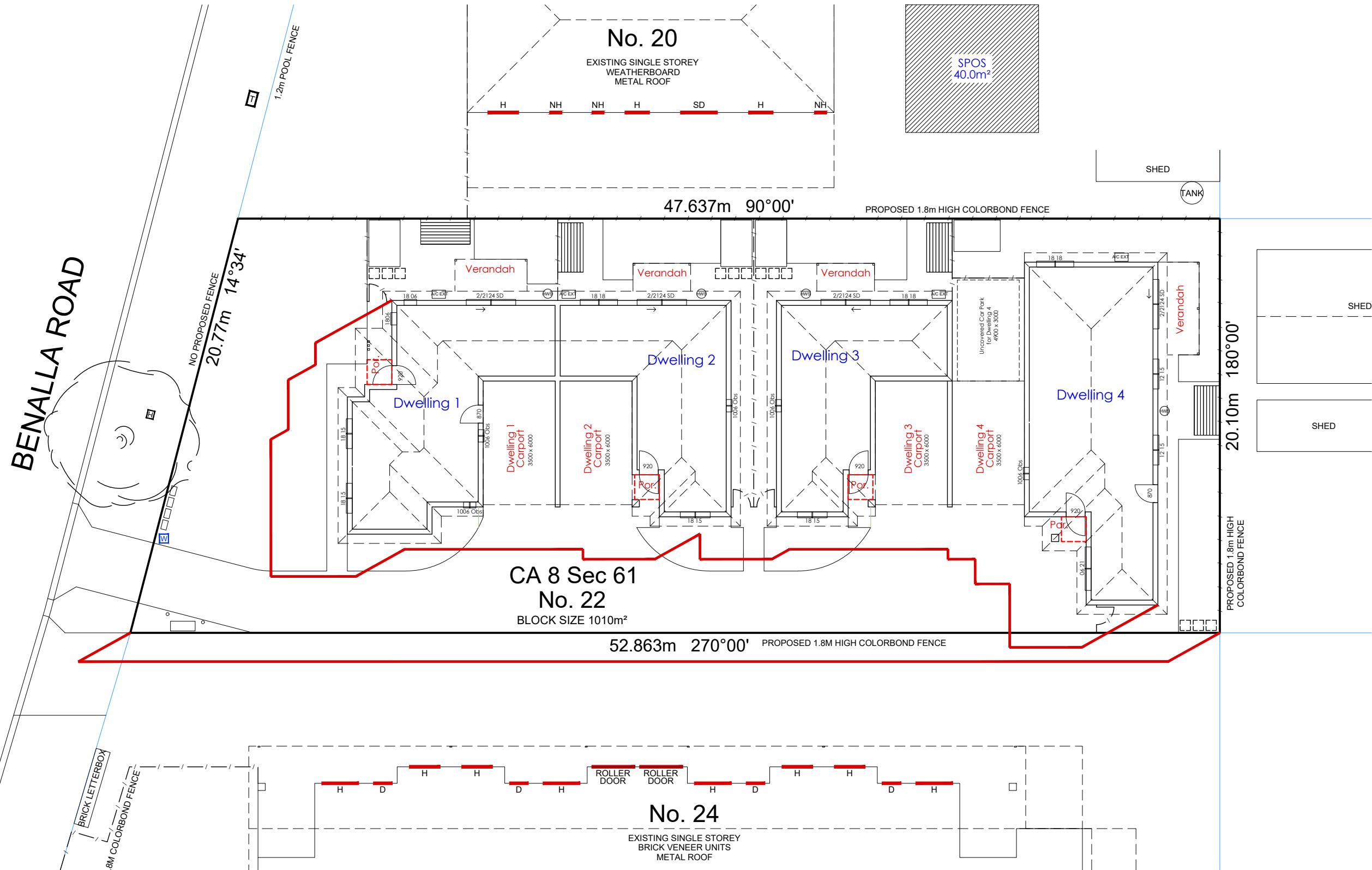
Telephone (03) 5822 1255
 Email admin@brucemactier.com
 Web www.brucemactier.com.au

Design
 Response Plan

9am OVERSHADOWING DIAGRAM

LEGEND

- 9am Shadowline
- / - / - Proposed 1.8m high Colorbond Fence
- Denotes area of Secluded Private Open Space (within Private Open Space)
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM



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Version 2 - 15/11/2023
 Drawing Status
Preliminary Only - Not For Construction

CLIENT
 Beyond Housing

PROJECT
 Proposed Four Dwelling Development.
 CA 8 Sec 61, No. 22 Benalla Road, Yarrowonga, VIC, 3730.

DATE
 October 2023

DRAWN
 B. Saunders

DESIGN
 Client

CHECKED
 B. Mactier

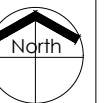
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REGISTRATION NUMBERS
 VIC CDP-AD56576

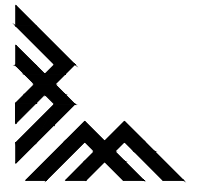
DRAWING TITLE
 9am Overshadowing

SHEET NUMBER
 TP6 of 15

JOB NUMBER
 25129



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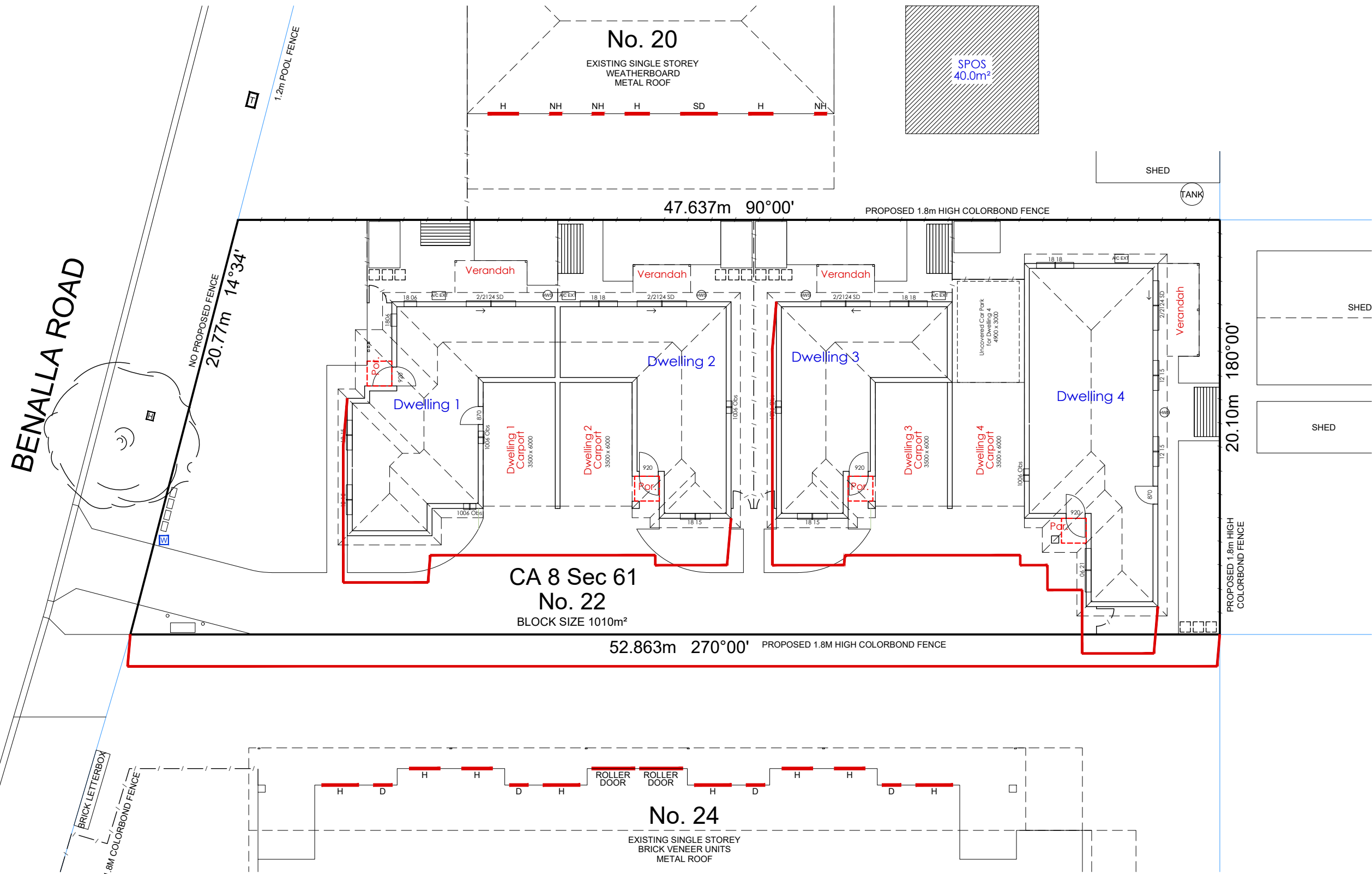
Telephone (03) 5822 1255
 Email admin@brucemactier.com
 Web www.brucemactier.com.au

9am Shadow Diagram

12pm OVERSHADOWING DIAGRAM

LEGEND

- 12pm Shadowline
- / - / - Proposed 1.8m high Colorbond Fence
- Denotes area of Secluded Private Open Space (within Private Open Space)
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM



Issue Date
Version 2 - 15/11/2023
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PROJECT
Proposed Four Dwelling
Development.
CA 8 Sec 61, No. 22 Benalla Road,
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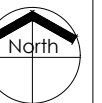
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REGISTRATION NUMBERS
VIC CDP-AD56576

DRAWING TITLE
12pm Overshadowing

SHEET NUMBER
TP7 of 15

JOB NUMBER
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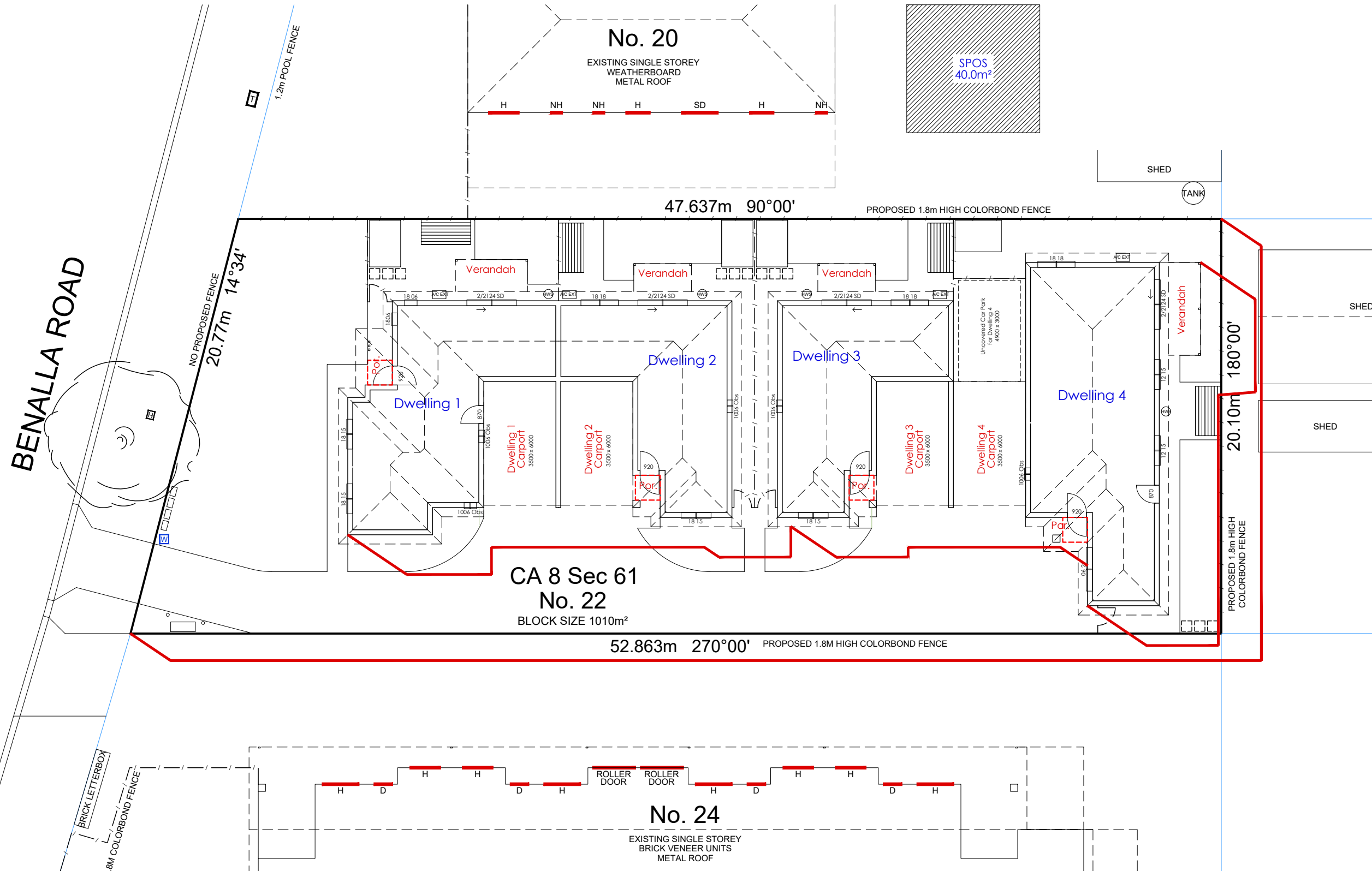
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12pm Shadow
Diagram

3pm OVERSHADOWING DIAGRAM

LEGEND

- 3pm Shadowline
- / - / - Proposed 1.8m high Colorbond Fence
- Denotes area of Secluded Private Open Space (within Private Open Space)
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM



Issue Date
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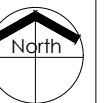
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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 3pm Overshadowing

SHEET NUMBER
 TP8 of 15

JOB NUMBER
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3pm Shadow Diagram

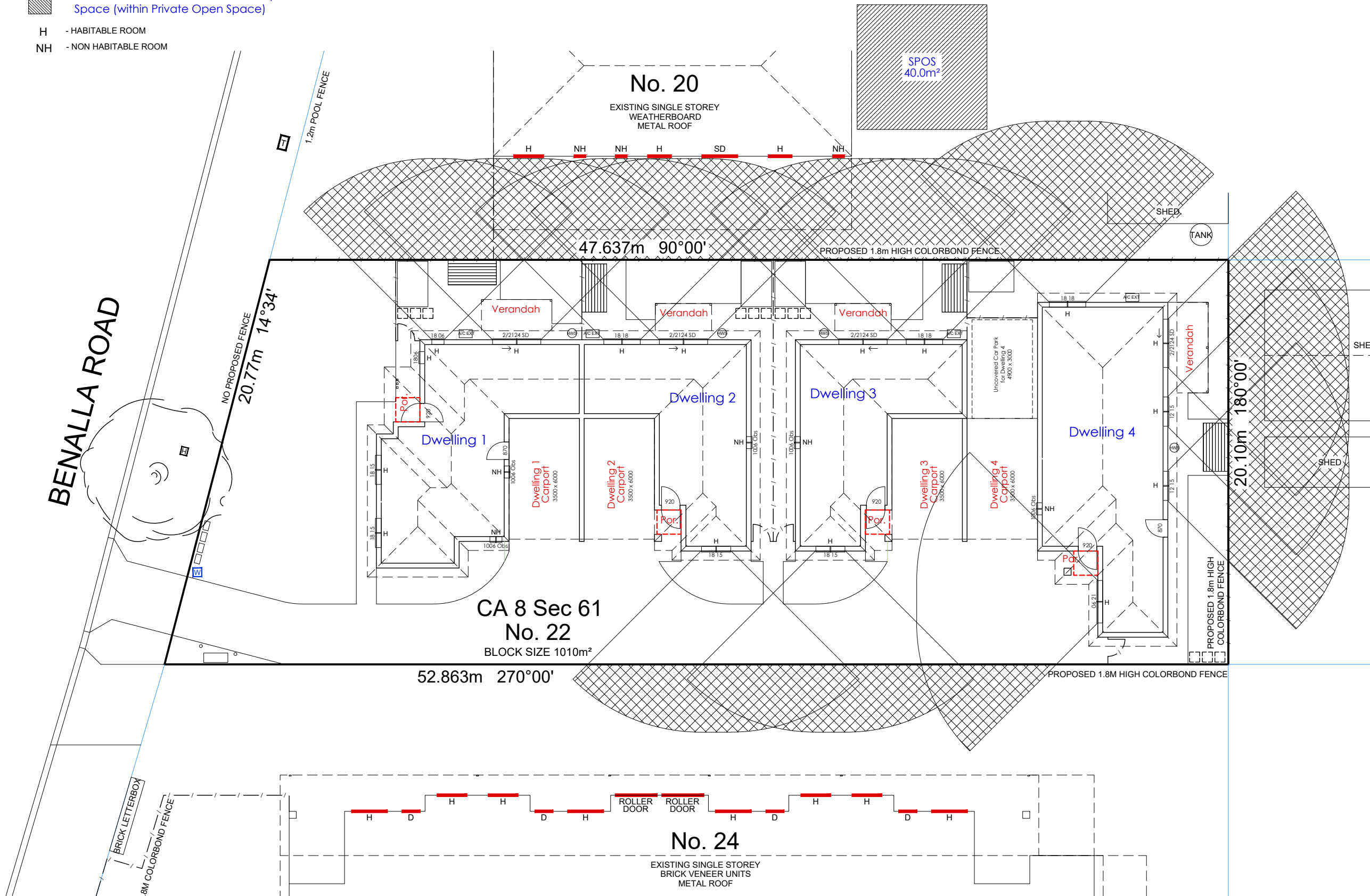
OVERLOOKING DIAGRAM

Issue Date
Version 2 - 15/11/2023
 Drawing Status
Preliminary Only - Not For Construction

LEGEND

-  Overlooking area protected by existing or proposed boundary fencing
-  Proposed 1.8m high Colorbond Fence
-  Denotes area of Secluded Private Open Space (within Private Open Space)
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM

Note: Overlooking is not applicable to No. 20 Benalla Road due to proposed 1.8m high boundary fence and the finished floor level of all dwellings being less than 800mm above natural ground level at the boundary.



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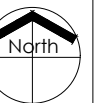
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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Overlooking Plan

SHEET NUMBER
 TP9 of 15

JOB NUMBER
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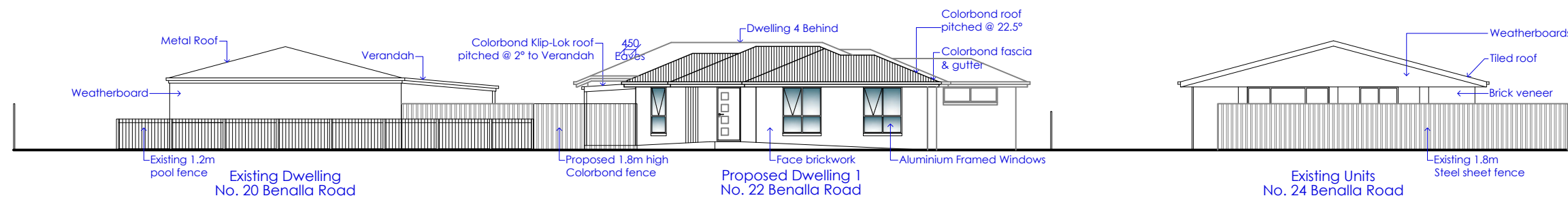
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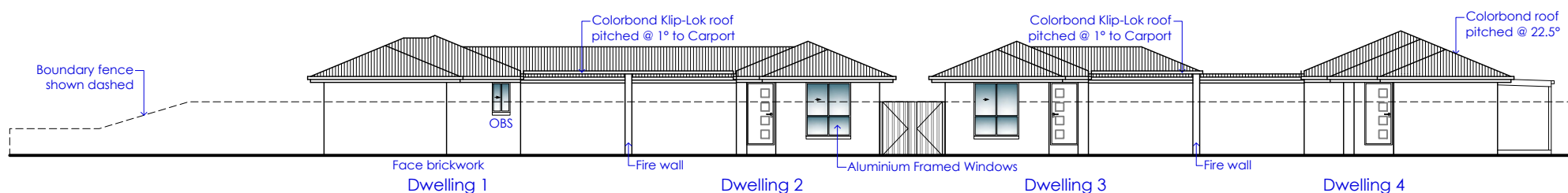
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Overlooking
 Plan

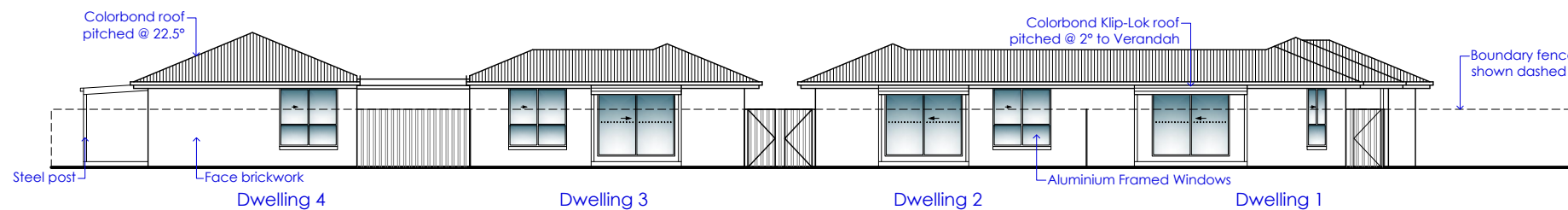
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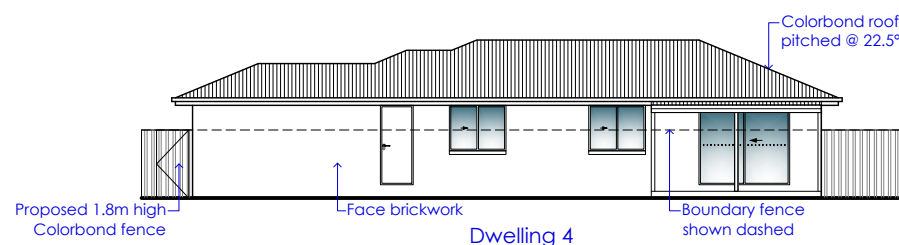
BENALLA ROAD STREETSCAPE



VIEW FROM SOUTH ADJOINING NEIGHBOUR



VIEW FROM NORTH ADJOINING NEIGHBOUR



VIEW FROM EAST REAR NEIGHBOUR

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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Streetscape

SHEET NUMBER
 TP10 of 15

JOB NUMBER
 25129

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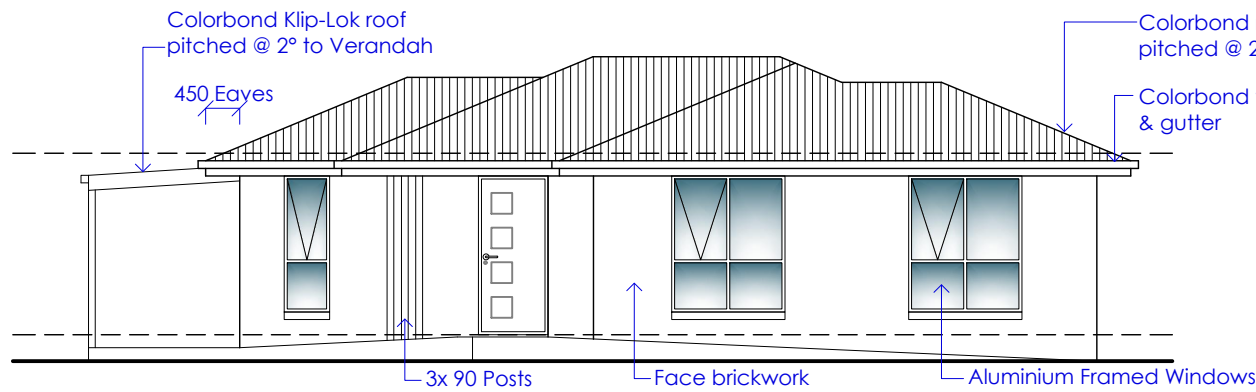


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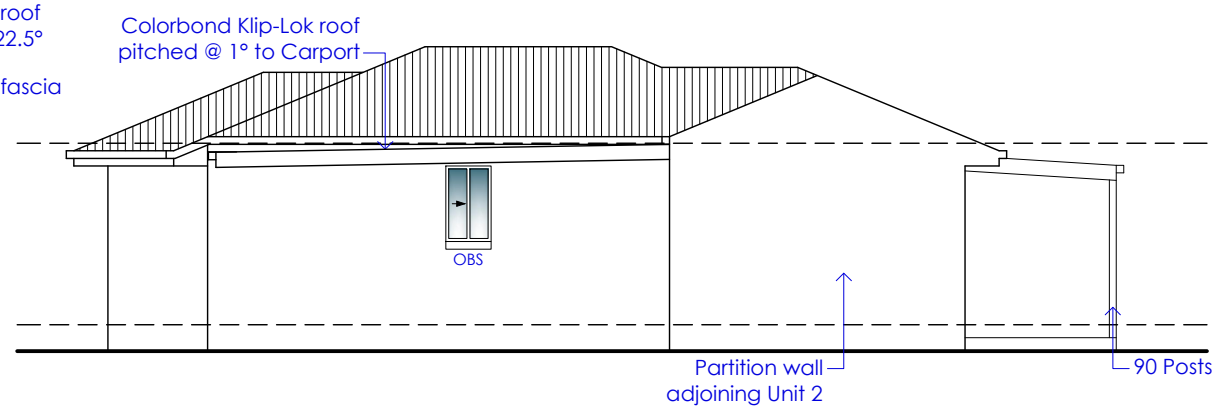
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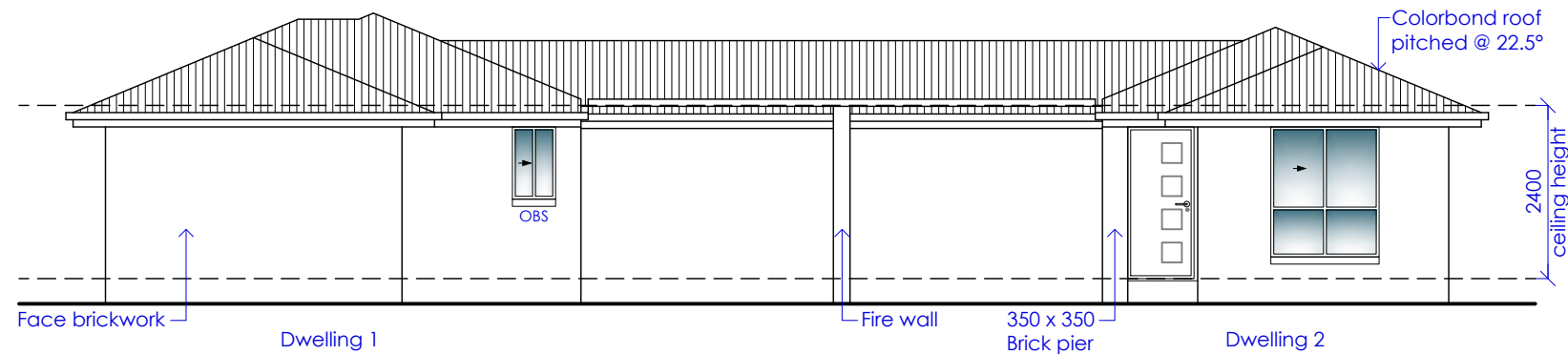
Streetscape



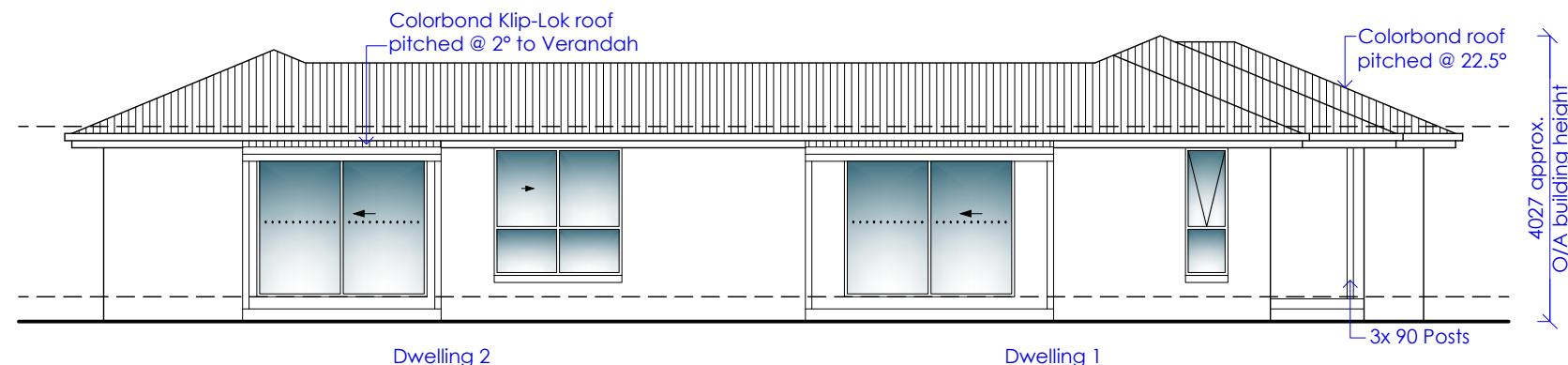
UNIT 1 - WEST ELEVATION



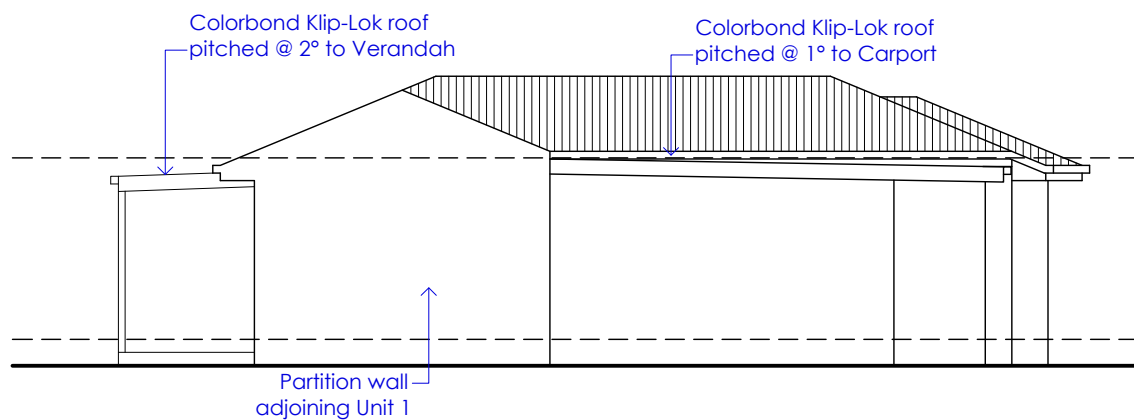
UNIT 1 - EAST ELEVATION



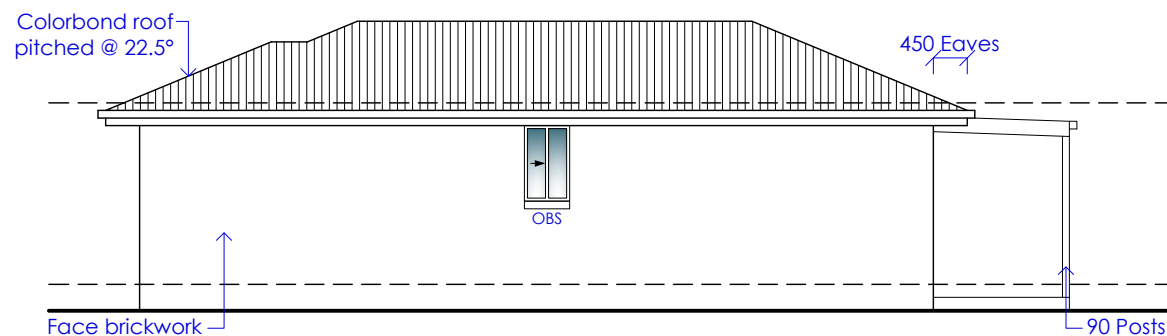
UNIT 1 & 2 - SOUTH ELEVATION



UNIT 1 & 2 - NORTH ELEVATION



UNIT 2 - WEST ELEVATION



UNIT 2 - EAST ELEVATION

Issue Date
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SCALE
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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Elevations

SHEET NUMBER
 TP11 of 15

JOB NUMBER
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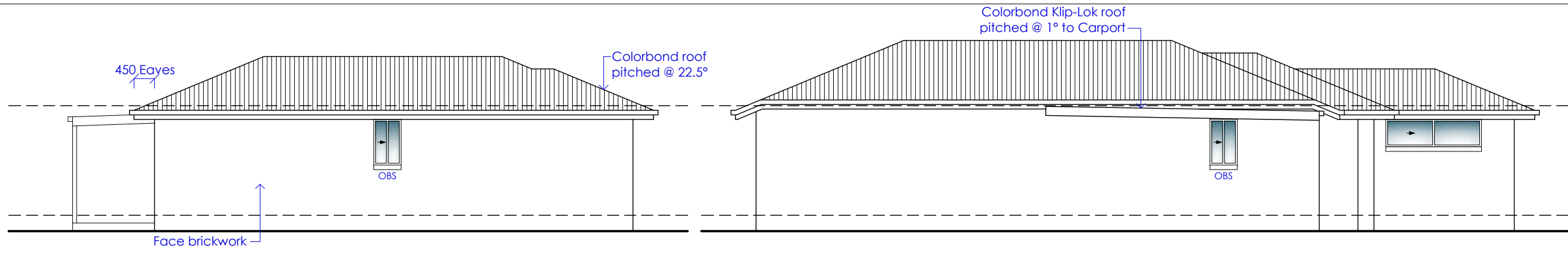


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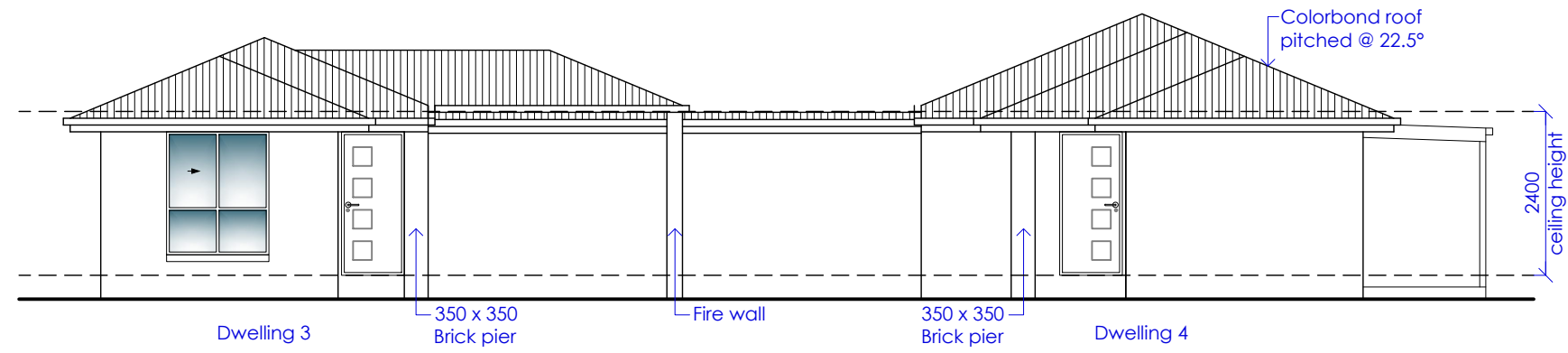
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 Email admin@brucemactier.com
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Elevations

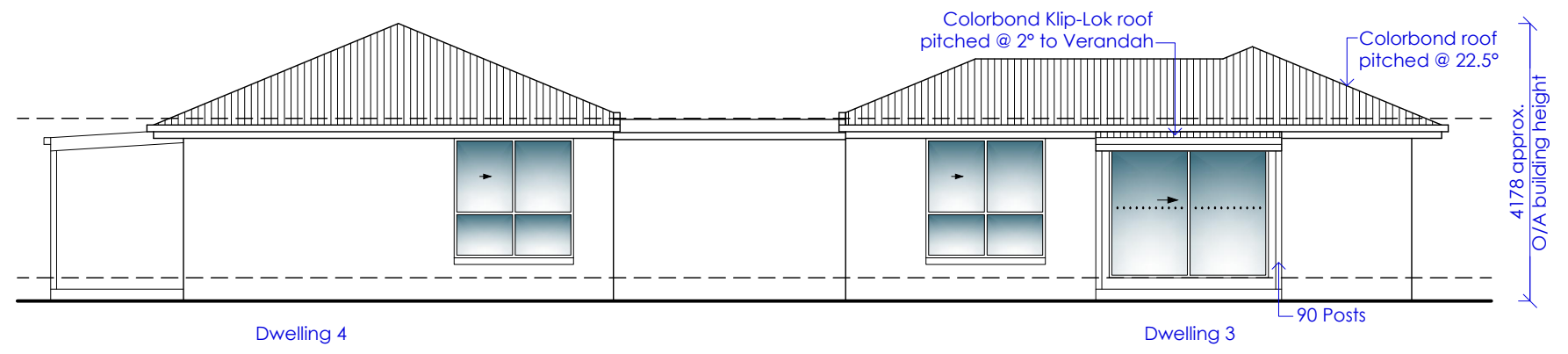


UNIT 3 - WEST ELEVATION

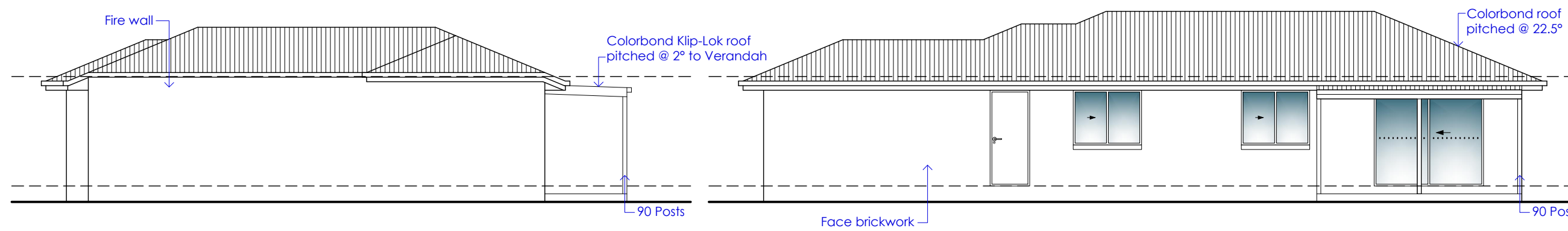
UNIT 4 - WEST ELEVATION



UNIT 3 & 4 - SOUTH ELEVATION



UNIT 3 & 4 - NORTH ELEVATION



UNIT 3 - EAST ELEVATION

UNIT 4 - EAST ELEVATION

Issue Date
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 VIC CDP-AD56576

DRAWING TITLE
 Elevations

SHEET NUMBER
 TP12 of 15

JOB NUMBER
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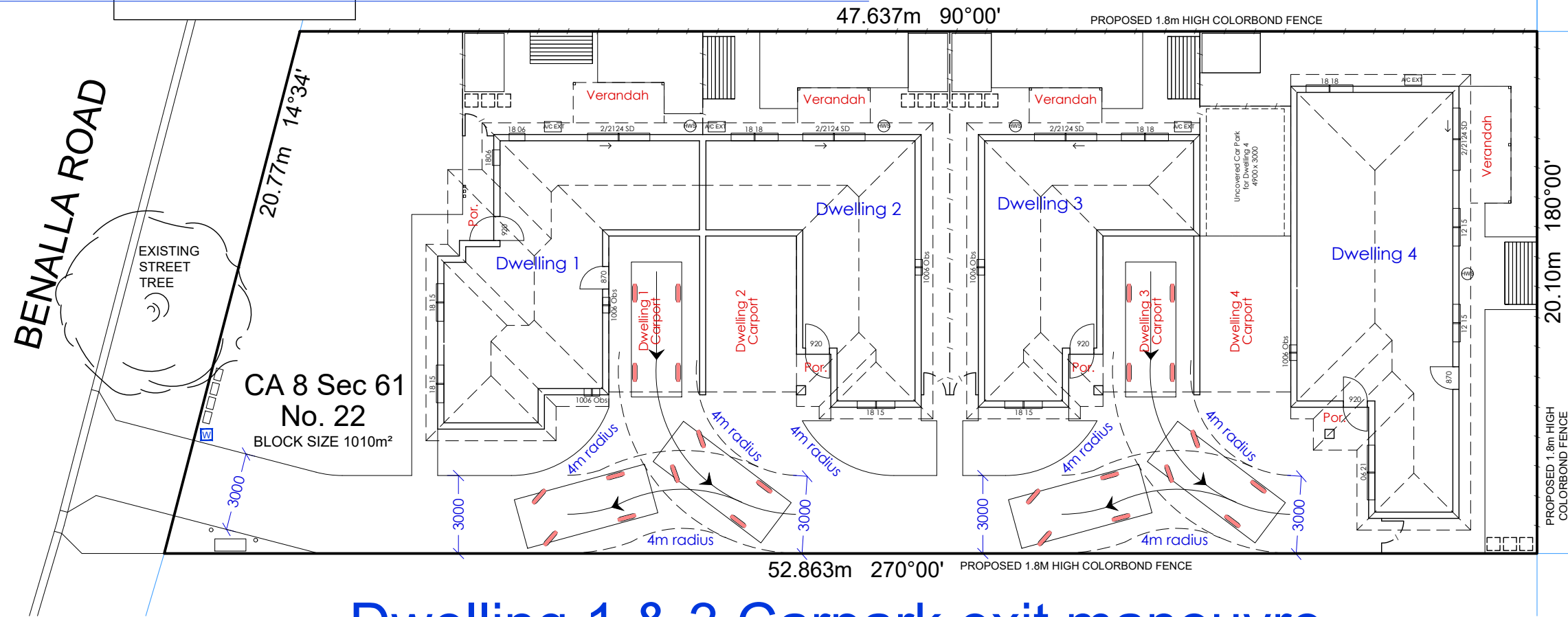
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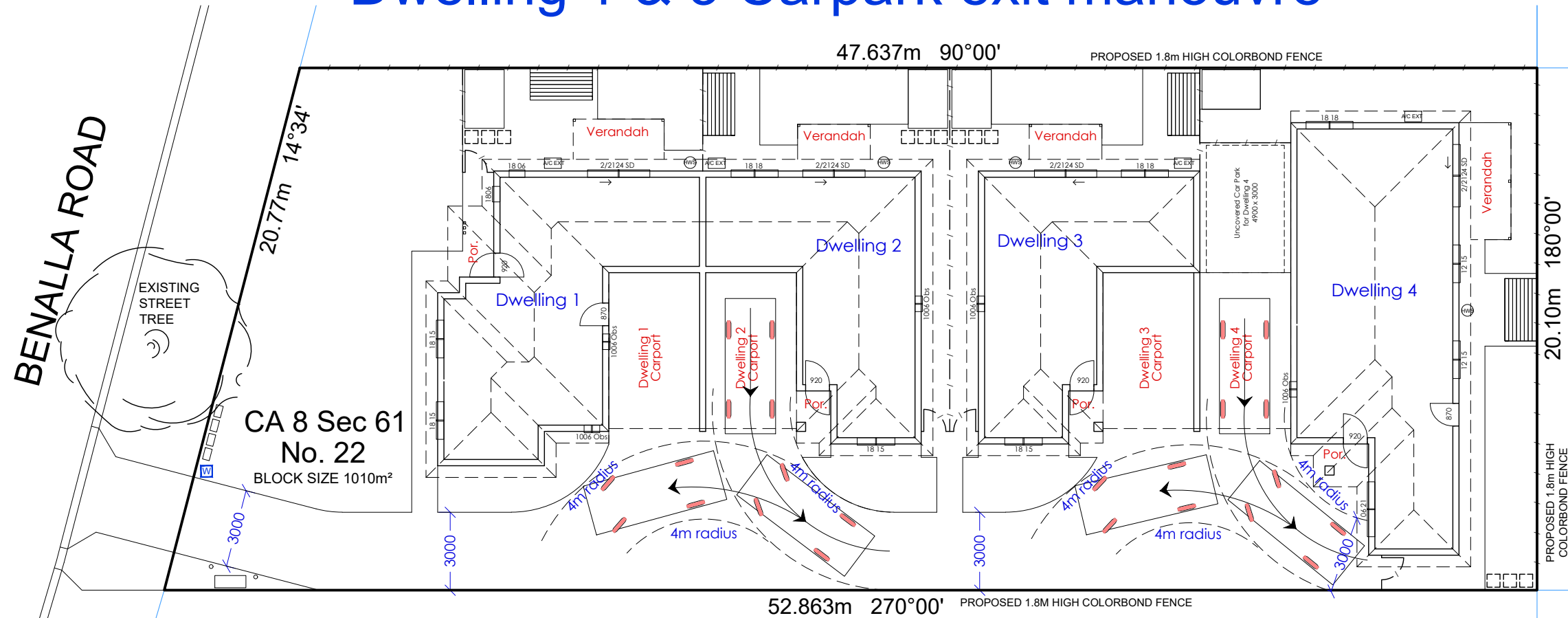
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Elevations

VEHICLE TURNING CIRCLES



Dwelling 1 & 3 Carpark exit manoeuvre



Dwelling 2 & 4 Carpark exit manoeuvre

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 CA 8 Sec 61, No. 22 Benalla Road, Yarrowonga, VIC, 3730.

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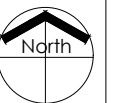
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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Vehicle Turning Manoeuvres

SHEET NUMBER
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






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Turning
 Circles

LANDSCAPE PLAN

GARDEN AREA

LEGEND

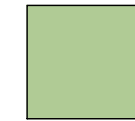
-  - CONCRETE DRIVEWAY PAVING
- 20MPa 100mm SL72 MESH 299.65m²
-  - CONCRETE FOOTPATH PAVING
- 20MPa 100mm SL72 MESH 162.72m²
-  - INSTANT TURF
(SUITABLE TYPE) 146.05m²
-  - GARDEN BEDS (APPROX.
100mm SOIL DEPTH, 75mm
MULCH) 71.05m²
-  - GRANETIC SAND OR HARD
BASED LILYDALE TOPPINGS 31.98m²
-  - ORNAMENTAL TREE- LOCATION TBC
(ALL TREES TO HAVE 3No. TIMBER
STAKES & HESSIAN SUPPORT WRAP)
-  * NATIVE GRASSES/SHRUBS

PLANNING SCHEME REQUIREMENTS

Garden Area Requirement:
Lot Size Minimum percentage of Garden Area

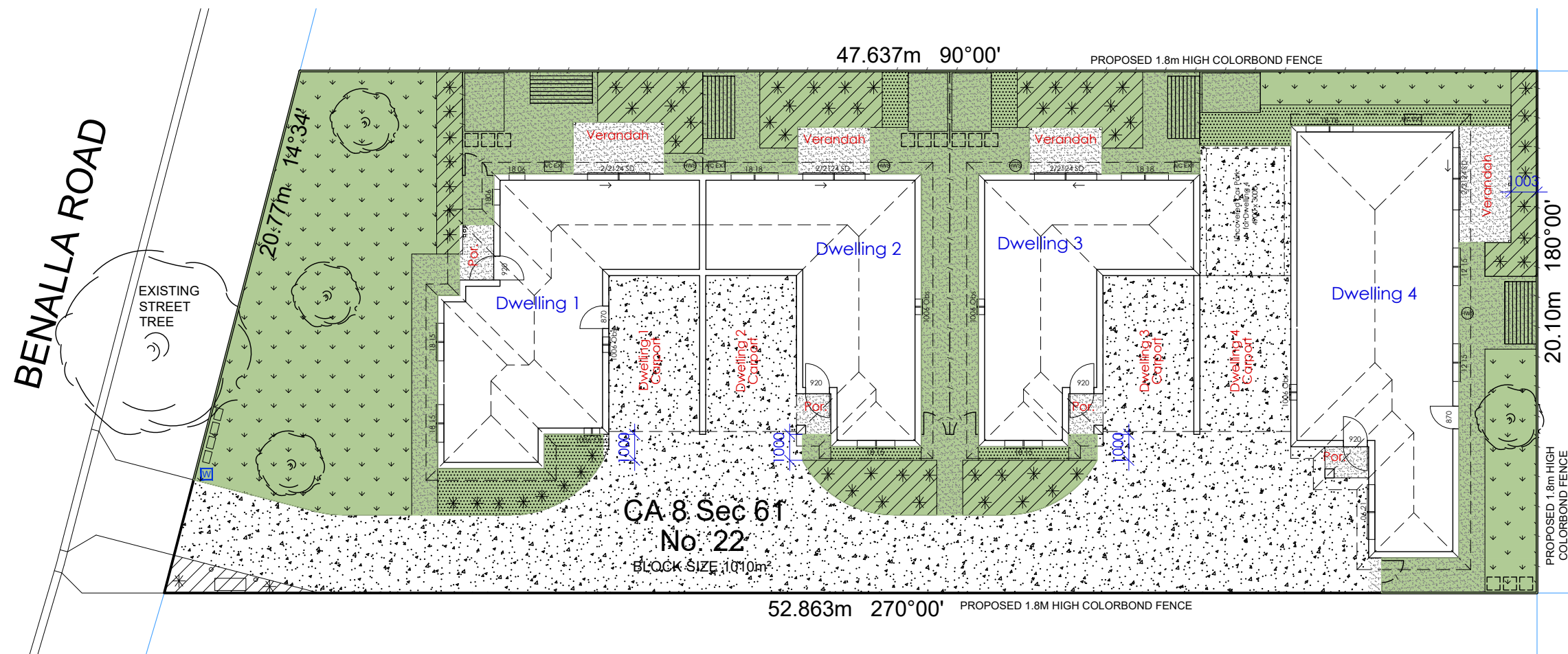
Up to 500m ²	25%
501 - 650m ²	30%
Above 650m ²	35%

Site Area : 1010m²
Garden Area Required = 35% : 353.5m²
Garden Area Proposed : 371.96m²



Garden Area

Complies



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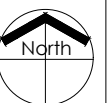
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REGISTRATION NUMBERS
VIC CDP-AD56576

DRAWING TITLE
Landscape Plan & Garden Areas

SHEET NUMBER
TP14 of 15

JOB NUMBER
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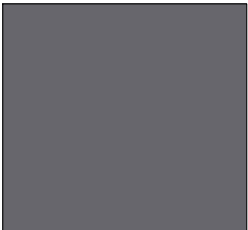
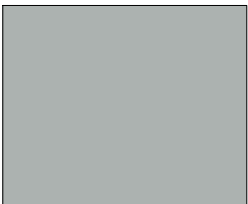

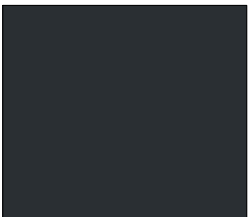
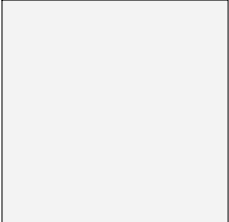
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Landscape
Plan

EXTERNAL COLOURS & FINISHES

Element	Colour	
Roofing - Colorbond	Basalt	
Whirly Bird	Basalt	
Gutter & Fascia	Basalt	
Front Door	Basalt	
Weatherboards	Shale Grey	
Brickwork	PGH Mocha	
Window Frames	Monument	
Eave Lining	White	

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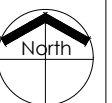
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REGISTRATION NUMBERS
 VIC CDP-AD56576

DRAWING TITLE
 Colour schedule

SHEET NUMBER
 TP15 of 15

JOB NUMBER
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Colour
 Schedule



Clause 55 Report 4 Dwelling Development 22 Benalla Road, Yarrawonga



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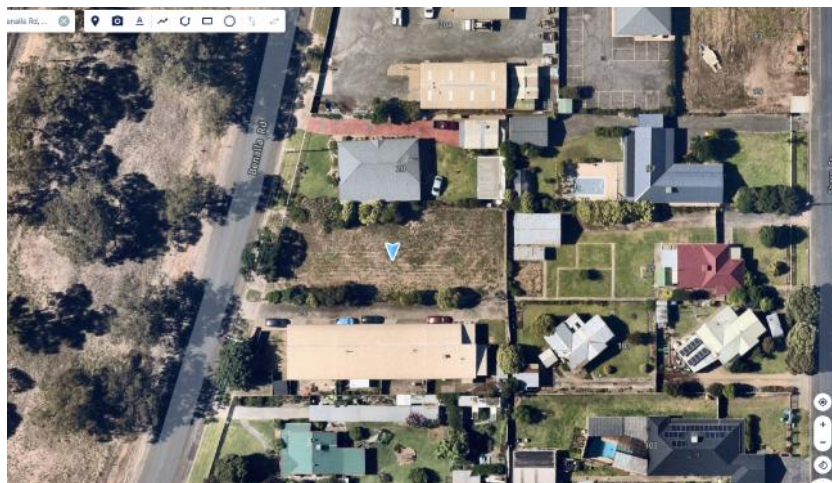
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Job: 25129
Version 1 – 10th October, 2023



Objective	Response
<p>55.01 Neighbourhood and Site Description and Design Response</p>	
<p>An application must be accompanied by: A neighbourhood and site description. A design response.</p>	
<p>55.01-1 Neighbourhood and site description</p> <p>The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:</p> <p>In relation to the neighbourhood</p> <ul style="list-style-type: none"> - The pattern of development of the neighbourhood - The built form, scale and character of surrounding development including front fencing - Architectural and roof styles - Any other notable features or characteristics of the neighbourhood. <p>In relation to the site:</p> <ul style="list-style-type: none"> - Site shape, size, orientation and easements - Levels of the site and the difference in levels between the site and surrounding properties. - The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site. - The use of surrounding buildings - The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres - Solar access to the site and to surrounding properties. - Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known. - Any contaminated soils and filled areas, where known - Views to and from the site. - Street frontage features such as poles, street trees and kerb crossovers. - The location of local shops, public transport services and public open spaces within walking distance. - Any other notable features or characteristics of the site. <p>If in the opinion of the responsible authority a requirement of the neighbourhood and site description is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.</p> <p>Satisfactory neighbourhood and site description</p> <p>If the responsible authority decides that the neighbourhood and site description is not satisfactory, it may require more information from the applicant under Section 54 of the Act.</p> <p>The responsible authority must not require notice of an application to be given or decide an application until it is satisfied that the neighbourhood and site description meets the requirements of Clause 55.01-1 and is satisfactory.</p> <p>This does not apply if the responsible authority refuses an application under Section 52(1A) of the Act.</p>	<p>Neighbourhood & Site Description</p> <p>Street Grid and Lot Sizes The surrounding streets form a roughly rectangular grid. The majority of lots are within 800m² to 1200m². The bulk of the sites are occupied by single dwellings.</p> <p>Architectural Styles The architectural styles within the area consist of predominantly older style weatherboard residences of a simple vernacular style. They are all single storey.</p> <p>Roof Details In the area, most of the houses have metal roofs. Roof pitches vary within the area as well as roof shapes. Both hip and gabled roofs are common in the older homes.</p> <p>Front Fences There is an existing front fence, and a variety of fences types in the area.</p> <p>Topography The area is relatively flat.</p> <p>Public Transport The town bus services the area with the closest bus stop situated 210m away from the subject site on Sharp Street.</p> <p>Street Trees The majority of street trees are 3 to 6m high and are located along the nature strip of most lots.</p> <p>Household Gardens The existing gardens in the area vary in style and are of good to average quality.</p> <p>Site Shape and Orientation The site is long and rectangular in shape with the narrow side abutting the street. The lot area is approximately 1010m², with the long sides running roughly East – West.</p> <p>Site Topography The site is flat for all practical purposes.</p> <p>Current Usage The site is currently vacant.</p> <p>Abutting Properties The property on North side boundary has a weatherboard house with metal roof and property to the South side is occupied by brick veneer units with metal roof.</p> <p>Site Contamination The site is not known to be contaminated.</p> <p>Existing Trees There are existing trees located on the site which would affect the proposed location of the new dwellings and accessways. It is proposed to remove these trees prior to construction.</p>

	<p>Views from the Site There are no views from this site except to the street.</p> <p>Other Notable Features This site has been classified as being in the General Residential Zone with a Designated Bushfire Prone area Overlay.</p> <p>See Plans See plans for further information on the site, adjoining properties and its relationship to the town centre.</p>
<p>55.01-2 Design response</p> <p>The design response must explain how the proposed design:</p> <ul style="list-style-type: none"> - Derives from and responds to the neighbourhood and site description. - Meets the objectives of Clause 55. - Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay. <p>The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.</p>	<p>Refer to design response B1 below, plans and elevations.</p>

55.02 Neighbourhood Character and Infrastructure	Response
<p>55.02-1 Neighbourhood character objectives</p> <p>To ensure that the design respects the existing neighborhood character or contributes to a Preferred neighborhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p> <p>Standard B1</p> <p>The design response must be appropriate to the neighborhood and the site.</p> <p>The proposed design must respect the existing or preferred neighborhood character and respond to the features of the site.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The neighbourhood and site description. The design response. 	<p>Design Response B1</p> <p>The design was derived by studying aspects produced in the site analysis and relevant council regulations.</p> <p>The existing houses in the area consist of a variety of architectural styles. This variety of homes in the one area are a common occurrence in country Victoria where development in the one Neighbourhood has occurred over a long period of time.</p> <p>The proposed multi-dwelling development consists of four single storey dwellings. The finish of the dwellings will be face brick with metal roofs which will modernise the buildings and enhance the streetscape.</p> <p>The design respects the existing neighbourhood character.</p> <p>Design Satisfies Standards & Objectives</p>
<p>55.02-2 Residential policy objectives</p> <p>To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p> <p>Standard B2</p> <p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The State Planning Policy Framework and the Local Planning Policy Framework including the Municipal Strategic Statement and local planning policies. The design response. 	<p>Design Response B2</p> <p>The subject site is located within the General Residential Zone of the Moira Planning Scheme.</p> <p>This 4 Unit proposal supports Clause 11.01-1L-03 Settlement by being situated in an urban area that is consistent with the Yarrowonga Central Framework Plan for this type of infill residential development. The proposed development also provides a more diverse range of housing options for existing and future population, especially for low-income tenants that require affordable accommodation.</p> <p>State Planning Policy The proposed medium density development supports the</p>

	<p>following statements under State Planning Policy - Clause 16.01-3S Housing Diversity:</p> <ul style="list-style-type: none"> - Meets changing household needs through adaptable internal dwelling design. - Respects the neighbourhood character. - Improves housing choice. - Makes better use of existing infrastructure. - Support opportunities for a range of income groups to choose housing in well-serviced locations. <p>Design Satisfies Standards & Objectives</p>
<p>55.02-3 Dwelling diversity objective</p> <p>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p> <p>Standard B3</p> <p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <ul style="list-style-type: none"> Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	<p>Design Response B3</p> <p>There are less than 10 dwellings in total. Therefore, this Standard is not applicable.</p> <p>Design satisfies standards & objectives</p>
<p>55.02-4 Infrastructure objectives</p> <p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p> <p>Standard B4</p> <p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity, and gas, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The capacity of the existing infrastructure. In the absence of reticulated sewerage, the capacity of the development to treat and retain all wastewater in accordance with the State Environment Protection Policy (Waters of Victoria) under the Environment Protection Act 1970. If the drainage system has little or no spare capacity, the capacity of the development to provide for storm water drainage mitigation or upgrading of the local drainage system. 	<p>Design Response B4</p> <p>Development will be connected to reticulated services - Electricity, Gas, Water and Sewerage subject to the authorities indicating there is capacity within their system. This will be confirmed when the council refers the application to them for comment.</p> <p>Design satisfies standards & objectives</p>

55.02-5 Integration with the street objective

To integrate the layout of development with the street.

Standard B5

Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.

Development should be oriented to front existing and proposed streets.

High fencing in front of dwellings should be avoided if practicable.

Development next to existing public open space should be laid out to complement the open space.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.

Design Response B5

There is no high front fencing proposed. The proposed development will be orientated to the street and internal accessway.

The development is not next to any existing public open space to complement.

Design satisfies standards & objectives

55.03 Site Layout and Building Massing	Response
<p>55.03-1 Street setback objective</p> <p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p> <p>Standard B6</p> <p>Walls of buildings should be set back from streets: At least the distance specified in a schedule to the zone, or</p> <p>If no distance is specified in a schedule to the zone, the distance specified in Table B1.</p> <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots. The visual impact of the building when viewed from the street and from adjoining properties. The value of retaining vegetation within the front setback. 	<p>Design Response B6</p> <p>According to the standard, for this development the front setback should be a minimum of 7.35m which is the average of adjoining properties. It is proposed to have a setback of 7.0 from the street for Dwelling 1.</p> <p>The setbacks in the area vary considerably. Although this proposed setback is 350mm less than the standard, this reduction would not be noticeable as the front boundary is angled and proposed dwelling looks to sit midway between the 2 adjoining lots dwellings.</p> <p>We are not aware of any relevant neighbourhood character objective for the area stated by council.</p> <p>In summary we believe the proposed reduced setback is an appropriate response to the site.</p> <p>Design does not satisfy standards It does satisfy the objectives</p>
<p>55.03-2 Building height objective</p> <p>To ensure that the height of buildings respects the existing or preferred neighbourhood character.</p> <p>Standard B7</p> <p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. 	<p>Design Response B7</p> <p>As no maximum height is nominated in the zone – 9m is the maximum. The maximum heights are less than 9m.</p> <p>Design satisfies standards & objectives</p>

<p>Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.</p> <p>The design response.</p> <p>The effect of the slope of the site on the height of the building.</p> <p>The relationship between the proposed building height and the height of existing adjacent buildings.</p> <p>The visual impact of the building when viewed from the street and from adjoining properties.</p>	
<p>55.03-3 Site coverage objective</p> <p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p> <p>Standard B8</p> <p>The site area covered by buildings should not exceed:</p> <p style="padding-left: 40px;">The maximum site coverage specified in a schedule to the zone, or</p> <p style="padding-left: 40px;">If no maximum site coverage is specified in a schedule to the zone, 60 per cent.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <p style="padding-left: 40px;">Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p style="padding-left: 40px;">The design response.</p> <p style="padding-left: 40px;">The existing site coverage and any constraints imposed by existing development or the features of the site.</p> <p style="padding-left: 40px;">The site coverage of adjacent properties.</p> <p style="padding-left: 40px;">The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.</p>	<p>Design Response B8</p> <p>No maximum is specified in zone therefore 60% is the maximum.</p> <p>The site coverage is approximately 42.14% which is less than 60%.</p> <p>Design satisfies standards & objectives</p>
<p>55.03-4 Permeability and stormwater management objectives</p> <p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p>Standard B9</p> <p>The site area covered by the pervious surfaces should be at least:</p> <p style="padding-left: 40px;">The minimum area specified in a schedule to the zone, or</p> <p style="padding-left: 40px;">If no minimum is specified in a schedule to the zone, 20 percent of the site.</p> <p>The stormwater management system should be designed to:</p>	<p>Design Response B9</p> <p>There is no minimum specified in the zone therefore 20% is the minimum.</p> <p>The site permeability is approximately 25.22%, which is greater than 20%.</p> <p>The stormwater management system has not yet been designed but will be designed by a drainage engineer to meet current best practice performance objectives for stormwater quality.</p>

<p>Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</p> <p>Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The capacity of the site to incorporate stormwater retention and reuse. The existing site coverage and any constraints imposed by existing development. The capacity of the drainage network to accommodate additional stormwater. The capacity of the site to absorb run-off. The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres. Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system. 	<p>Design satisfies standards & objectives</p>
<p>55.03-5 Energy efficiency objectives</p> <p>To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p> <p>Standard B10</p> <p>Buildings should be:</p> <ul style="list-style-type: none"> Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The size, orientation and slope of the lot. The existing amount of solar access to abutting properties. The availability of solar access to north-facing windows on the site. 	<p>Design Response B10</p> <p>All the dwellings will have north facing living areas.</p> <p>North facing windows have been maximised. Our proposed development does not affect the solar efficiency of the adjoining properties.</p> <p>Any shadows cast from our development do not affect the adjoining properties.</p> <p>Design satisfies standards & objectives</p>

<p>55.03-6 Open space objective</p> <p>To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</p> <p>Standard B11</p> <p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> Be substantially fronted by dwellings, where appropriate. Provide outlook for as many dwellings as practicable. Be designed to protect any natural features on the site. Be accessible and useable. <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant plan or policy for open space in the State Planning Policy Framework and Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. <p>The design response.</p>	<p>Design Response B11</p> <p>The communal open space in the development is generally the driveway accessing the car spaces for all dwellings. It will be fronted by dwellings 2, 3 & 4 and will be overlooked by their bedroom windows. See Plans.</p> <p>There are no natural features to protect.</p> <p>The Communal Open Space is accessible and useable.</p> <p>Design satisfies standards & objectives</p>
<p>55.03-7 Safety objective</p> <p>To ensure the layout of development provides for the safety and security of residents and property.</p> <p>Standard B12</p> <p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B12</p> <p>The entrance to Unit 1 is not obscured or isolated from the street.</p> <p>The entrances to Units 2, 3 & 4 are partially obscured from the street, but not from the internal accessway.</p> <p>Planting will be designed to eliminate any unsafe spaces.</p> <p>The driveway is visible from the dwellings. The occupants shall be able to provide surveillance of the spaces.</p> <p>The private open spaces within the development have not been designed to enable use as public thoroughfares.</p> <p>Design satisfies standards & objectives</p>
<p>55.03-8 Landscaping objectives</p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p> <p>Standard B13</p> <p>The landscape layout and design should:</p>	<p>Design Response B13</p> <p>The landscape plan has not yet been developed but it will have the following characteristics in the design.</p>

<p>Protect any predominant landscape features of the neighbourhood.</p> <p>Take into account the soil type and drainage patterns of the site.</p> <p>Allow for intended vegetation growth and structural protection of buildings.</p> <p>In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</p> <p>Provide a safe, attractive and functional environment for residents.</p> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme Any relevant plan or policy for landscape design in the State Planning Policy Framework and Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. The design response. The location and size of gardens and the predominant plant types in the neighbourhood. The health of any trees to be removed. Whether a tree was removed to gain a development advantage 	<p>Provide a safe, attractive, functional environment for the occupants.</p> <p>Consider soil type and drainage,</p> <p>Specify themes, paving types etc.</p> <p>Dwelling shall be structurally protected from intended vegetation. There are no existing themes on the site to be retained.</p> <p>There are no existing themes on the site to be retained.</p> <p>Design satisfies standards & objectives.</p>
<p>55.03-9 Access objective</p> <p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p> <p>Standard B14</p> <p>The width of access ways or car spaces should not exceed: 33 per cent of the street frontage, or</p> <p>if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</p> <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a road in a Road Zone should be minimised.</p>	<p>Design Response B14</p> <p>Accessways have been designed to allow safe access within the site and access onto the existing streets. All roads will be at least 3 metres wide and have an internal radius of 4 metres.</p> <p>Accessways do not exceed 40% of the frontage.</p> <p>The position of the crossovers ensure that the on-street car parking spaces are maximised.</p> <p>Access is provided for emergency vehicles entering the site. Delivery vehicles will be capable of entering most of the site.</p>

<p>Developments must provide for access for service, emergency and delivery vehicles.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The impact on the neighbourhood character. The reduction of on-street car parking spaces. The effect on any significant vegetation on the site and footpath. 	<p>Design satisfies standards & objectives.</p>
<p>55.03-10 Parking location objectives</p> <p>To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments.</p> <p>Standard B15 Car parking facilities should:</p> <ul style="list-style-type: none"> Be reasonably close and convenient to dwellings and residential buildings. Be secure. Be well ventilated if enclosed <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p> <p>Car Parking</p> <p>The table contained in Clause 52.06-5 of the Planning Scheme states that car parking must be provided at a ratio of:</p> <ul style="list-style-type: none"> 1 car space to each one- or two-bedroom dwelling, plus; 2 car spaces to each three or more bedroom dwelling (with studies or studios that are separate rooms counted as a bedroom) plus; 1 car space for visitors to every 5 dwellings for developments of 5 or more dwellings. 	<p>Design Response B15</p> <p>The layout of the car parking will allow safe and efficient movement within the site, while still being a convenient distance from the buildings.</p> <p>All driveways shall be at least 1.5 metres from habitable room windows or window sills are at least 1.4m above the accessway - see plans.</p> <p>Design satisfies standards & objectives.</p> <p>Design Response B16</p> <p>Dwelling 1 is a two-bedroom dwelling with the required single car space located under the Carport.</p> <p>Dwellings 2 & 3 are regarded as one-bedroom dwellings and provides the necessary single car space under their Carports.</p> <p>Dwelling 4 is a three-bedroom dwelling with the required 2 car spaces, one located under the Carport and other designated uncovered car park area.</p> <p>The second car space for Dwelling 4 can reverse into the Carport belonging to that dwelling in order to exit the site in a forwards direction. This is similar to situations where tandem car spaces are provided, where one car needs to move to let the other car exist the site.</p> <p>Visitor parking is not required.</p> <p>Design satisfies standards & objectives.</p>

55.04 Amenity Impacts	Response
<p>55.04-1 Side and rear setback objective</p> <p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p>Standard B17</p> <p>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</p> <p style="padding-left: 40px;">At least the distance specified in a schedule to the zone, or</p> <p style="padding-left: 40px;">If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <p style="padding-left: 40px;">Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p style="padding-left: 40px;">The design response.</p> <p style="padding-left: 40px;">The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings.</p> <p style="padding-left: 40px;">Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary.</p> <p style="padding-left: 40px;">Whether the wall abuts a side or rear lane.</p>	<p>Design Response B17</p> <p>All side and rear setbacks will be as per the code, in the absence of specified distance 1 metre plus 0.3 metres for every metre over 3.6 has been provided.</p> <p>Design satisfies standards & objectives.</p>
<p>55.04-2 Walls on boundaries objective</p> <p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p>Standard B18</p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <p style="padding-left: 40px;">For a length of more than the distance specified in a schedule to the zone; or</p> <p style="padding-left: 40px;">If no distance is specified in a schedule to the zone, for a length of more than:</p> <p style="padding-left: 80px;">10 metres plus 25 per cent of the remaining length of</p>	<p>Design Response B18</p> <p>There are no boundaries with abutting walls.</p> <p>Design satisfies standards & objectives.</p>

<p>the boundary of an adjoining lot, or</p> <p>Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports,</p> <p>whichever is the greater.</p> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The extent to which walls on boundaries are part of the neighbourhood character The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property. The orientation of the boundary that the wall is being built on. The width of the lot. The extent to which the slope and retaining walls or fences reduce the effective height of the wall. Whether the wall abuts a side or rear lane. The need to increase the wall height to screen a box gutter. 	
<p>55.04-3 Daylight to existing windows objective</p> <p>To allow adequate daylight into existing habitable room windows.</p> <p>Standard B19</p> <p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall</p>	<p>Design Response B19</p> <p>All adjoining properties will not be impacted in terms of natural light into existing windows. See plans.</p> <p>Design satisfies standards & objectives.</p>

<p>height is measured from the floor level of the room containing the window.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider: The design response.</p> <p>The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows.</p>	
<p>55.04-4 North-facing windows objective</p> <p>To allow adequate solar access to existing north-facing habitable room windows.</p> <p>Standard B20</p> <p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider: The design response.</p> <p>Existing sunlight to the north-facing habitable room window of the existing dwelling.</p>	<p>Design Response B20</p> <p>The design complies as is, as the development does not impact on any north facing room windows. See Plans.</p> <p>Design satisfies standards & objectives.</p>
<p>55.04-5 Overshadowing open space objective</p> <p>To ensure buildings do not significantly overshadow existing secluded private open space.</p> <p>Standard B21</p> <p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider: The design response. The impact on the amenity of existing dwellings. Existing sunlight penetration to the secluded private open space of the existing dwelling. The time of day that sunlight will be available to the secluded private open space of the existing dwelling. The effect of a reduction in sunlight on the existing use of the existing secluded private open space.</p>	<p>Design Response B21</p> <p>The proposed development does not overshadow onto the private open space of any adjoining properties.</p> <p>Refer to plans.</p> <p>Design satisfies standards & objectives.</p>

55.04-6 Overlooking objective

To limit views into existing secluded private open space and habitable room windows.

Standard B22

A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:

Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.

Have sill heights of at least 1.7 metres above floor level.

Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.

Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.

Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view should be:

Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.

Permanent, fixed and durable.

Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

The design response.

The impact on the amenity of the secluded private open space or habitable room window.

The existing extent of overlooking into the secluded private open space and habitable room windows of existing dwellings.

The internal daylight to and amenity of the proposed dwelling or residential building.

Design Response B22

Overlooking is not applicable due to the proposed 1.8m fences on Northern and Eastern boundaries and the finished floor levels of all 4 dwellings will be less than 0.8 metres above the ground level at the boundary.

Design satisfies standards & objectives.

<p>55.04-7 Internal views objective</p> <p>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p> <p>Standard B23</p> <p>Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B23</p> <p>The dwellings are single storey dwellings. The internal fences 1.8m high will restrict overlooking. See Plans.</p> <p>Design satisfies standards & objectives.</p>
<p>55.04-8 Noise impacts objectives</p> <p>To contain noise sources in developments that may affect existing dwellings.</p> <p>To protect residents from external noise.</p> <p>Standard B24</p> <p>Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.</p> <p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B24</p> <p>Noise sources (if any) will not be located near adjoining bedrooms of adjoining dwellings. These dwellings are near busy road and in the design process we have considered these issues. Windows to habitable rooms have been located and designed to limit this noise.</p> <p>Design satisfies standards & objectives.</p>

55.05 On-Site Amenity and Facilities	Response
<p>55.05-1 Accessibility objective</p> <p>To encourage the consideration of the needs of people with limited mobility in the design of developments.</p> <p>Standard B25</p> <p>The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	<p>Design Response B25</p> <p>The development will be single storey which will allow easy accessibility for D/A people. Steps at the entrances have been minimised.</p> <p>Design satisfies standards & objectives.</p>
<p>55.05-2 Dwelling entry objective</p> <p>To provide each dwelling or residential building with its own sense of identity.</p> <p>Standard B26</p> <p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry. 	<p>Design Response B26</p> <p>The dwellings have been designed with Porticos to emphasise the entry, giving the dwellings a sense of personal address. The entrance porticos have been located to be visible from the access roads.</p> <p>Design satisfies standards & objectives.</p>
<p>55.05-3 Daylight to new windows objective</p> <p>To allow adequate daylight into new habitable room windows.</p> <p>Standard B27</p> <p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or A verandah provided it is open for at least one third of its perimeter, or A carport provided it has two or more open sides and is open for at least one third of its perimeter. <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. Whether there are other windows in the habitable room which have access to daylight. 	<p>Design Response B27</p> <p>Habitable room windows will all have a minimum light view to outside of 3m².</p> <p>Design satisfies standards & objectives.</p>

55.05-4 Private open space objective

To provide adequate private open space for the reasonable recreation and service needs of Residents.

Standard B28

A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.

If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:

An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or

A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or

A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.

The balcony requirements in Clause 55.05-4 do not apply to an apartment development.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

The design response.

The useability of the private open space, including its size and accessibility.

The availability of and access to public or communal open space.

The orientation of the lot to the street and the sun.

Design Response B28

All dwellings shall have Private open space of 40m² minimum. See Plans.

All Secluded Private Open spaces shall have direct access to a living room - see plans, with a minimum of 25m² and a minimum width of 3m.

Design satisfies standards & objectives

55.05-5 Solar access to open space objective

To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B29

The private open space should be located on the north side of the dwelling or residential building, if appropriate.

The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

The design response.

The useability and amenity of the secluded private open space based on the sunlight it will receive.

Design Response B29

Secluded Private Open space is located on the North side for all dwellings. All Private open spaces have access to north sunlight. Therefore, the orientation meets the desired location, gaining the majority of the sunlight throughout the day.

Secluded private open spaces is located to ensure they will have solar access.

Design satisfies standards & objectives.

55.05-6 Storage objective

To provide adequate storage facilities for each dwelling.

Standard B30

Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

Design Response B30

A lock up shed is to be provided with a capacity of 6m³ for each dwelling.

Design satisfies standards & objectives

55.06 Detailed Design	Response								
<p>55.06-1 Design detail objective</p> <p>To encourage design detail that respects the existing or preferred neighbourhood character.</p> <p>Standard B31</p> <p>The design of buildings, including: Facade articulation and detailing, Window and door proportions, Roof form, and Verandahs, eaves and parapets,</p> <p>should respect the existing or preferred neighbourhood character.</p> <p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting. Whether the design is innovative and of a high architectural standard. 	<p>Design Response B31</p> <p>The proposed dwellings have been designed with articulated facades to enhance the existing neighbourhood character.</p> <p>The external walls are to be face brickwork with Colorbond roofs this will give the dwellings a more modern look and enhance the streetscape.</p> <p>Open carports with flat metal roofs are proposed, which are compatible with the many simple flat roofed carports in the area.</p> <p>As discussed in Design Response 1 the neighbourhood has an older and very simple architectural style. It should be noted that the existing character can be improved. For this reason, we have resolved not to replicate the existing character.</p> <p>Design satisfies standards & objectives.</p>								
<p>55.06-2 Front fences objective</p> <p>To encourage front fence design that respects the existing or preferred neighbourhood character.</p> <p>Standard B32</p> <p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed: The maximum height specified in a schedule to the zone, or</p> <p>If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.</p> <p>Table B3 Maximum front fence height</p> <table border="1" data-bbox="92 1787 762 1928"> <thead> <tr> <th>Street Context</th> <th>Maximum front fence height</th> </tr> </thead> <tbody> <tr> <td>Streets in a Road Zone, Category 1</td> <td>2 metres</td> </tr> <tr> <th>Street Context</th> <th>Maximum front fence height</th> </tr> <tr> <td>Other Streets</td> <td>1.5 metres</td> </tr> </tbody> </table> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p>	Street Context	Maximum front fence height	Streets in a Road Zone, Category 1	2 metres	Street Context	Maximum front fence height	Other Streets	1.5 metres	<p>Design Response B32</p> <p>No front fence is proposed.</p> <p>Design satisfies standards & objectives</p>
Street Context	Maximum front fence height								
Streets in a Road Zone, Category 1	2 metres								
Street Context	Maximum front fence height								
Other Streets	1.5 metres								

<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The setback, height and appearance of front fences on adjacent properties.</p> <p>The extent to which slope and retaining walls reduce the effective height of the front fence.</p> <p>Whether the fence is needed to minimise noise intrusion.</p>	
<p>55.06-3 Common property objectives</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p> <p>Standard B33</p> <p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>Design Response B33</p> <p>The communal open spaces will be generally the driveways. They shall be overlooked by various windows of the dwellings to ensure surveillance of these spaces. There will be no secluded areas of Communal Spaces which cannot be overlooked by dwelling windows.</p> <p>The communal open spaces will be managed by the owner of the property - Beyond Housing.</p> <p>Design satisfies standards & objectives</p>
<p>55.06-4 Site services objectives</p> <p>To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p> <p>Standard B34</p> <p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B34</p> <p>Bins will be located in the secluded private open spaces and brought out onto the nature strip by the occupant when required.</p> <p>A mailbox will be installed adjacent to accessway.</p> <p>Design satisfies standards & objectives</p>